



PLANNING BOARD MEETING
TUESDAY, AUGUST 05, 2025 - 6:00 P.M.
CALLAWAY ARTS & CONFERENCE CENTER
500 CALLAWAY PARK WAY
CALLAWAY, FL 32404

BOARD MEMBERS
John Hagan, Chairman
James Dougall, Vice-Chair
Theodore Conte
Spring Overway
Jeffrey Carnahan
Don Hennings
Teresa Langston

AGENDA

- A. CALL TO ORDER (SILENCE PHONES)**
- B. INVOCATION & PLEDGE OF ALLEGIANCE**
- C. ROLL CALL**
- D. APPROVAL OF MINUTES**
 - **July 15, 2025**
- E. NEW BUSINESS – PUBLIC HEARING(S)**
 - 1. Review of Development Order for Grand Oaks Subdivision**
Seneca Ave, from 7th St to Hagin Dr.
Parcel ID 24379-000-000 & 24380-000-000
 - 2. Small Scale Comprehensive Plan Amendment**
1023 Primrose St.
Parcel ID 07384-277-000
 - 3. Rezoning Application**
1023 Primrose St.
Parcel ID 07384-277-000
 - 4. Small Scale Comprehensive Plan Amendment**
NW Corner of Anita Dr. & Douglas St.
Parcel ID 06258-010-000
 - 5. Rezoning Application**
NW Corner of Anita Dr. & Douglas St.
Parcel ID 06258-010-000

If a person decides to appeal any decision made by this board, with respect to any matter considered at the meeting, if an appeal is available, such person will need a record of the proceeding and such person may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Callaway City Clerk, at 6601 E. Highway 22, Callaway, Florida 32404; or by phone at (850)871-6000, at least five calendar days prior to the meeting.

If you are hearing or speech impaired, and you possess TDD equipment, you may contact the City Clerk using the Florida Dual Party Relay System, which can be reached at 1-800-955-8770 (Voice) or 1-800-955-7661 (TDD).

F. ADJOURNMENT

Jay Mitchell for
Ashley Robyck, City Clerk

CITY OF CALLAWAY
PLANNING BOARD MEETING MINUTES
JULY 15, 2025– 6:00 P.M.

The Callaway Planning Board met in regular session with John Hagan, Chairman, James Dougall, Vice-Chair, and Board Members, Theodore Conte, Spring Overway, Jeffery Carnahan, & Teresa Langston were present. Board Member Don Hennings was not in attendance. Bill Frye, Public Works/Planning Director, Jay Mitchell, Administrative Support Clerk were also present.

Chairman Hagan called the meeting to order, followed by an invocation and the Pledge of Allegiance.

The roll call was made by the Administrative Support Clerk, Jay Mitchell.

ASC, Jay, welcomed newly appointed Board Member, Teresa Langston

APPROVAL OF MINUTES

April 1, 2025

Motion:

A motion was made by Board Member Carnahan and seconded by Board Member Overway to approve the minutes of April 1, 2025. The motion carried unanimously.

NEW BUSINESS

**1. Review of Ordinance #1122 and Resolution 25-12
Restricting Heavy Commercial Vehicles on Certain Residential Roads**

Bill Frye, Public Works Director, reviewed Ordinance 1122 and Resolution 25-12

Chairman Hagan states he is aware of some residential roads having this issue, how were the other ones chosen.

Director Frye explained using S. Gay as an example.

Chairman Hagan asks would any additions to this give problems in the future due to growth.

Director Frye states the City Attorney recommends this done via Resolution due to ease of change if needed.

Board Member Carnahan asks who is going to enforce this if passed.

Director Frye states this is a moving violation so the Bay County Sheriff's Department.

Vice-Chair Dougall states Driving Apps could be bringing these drivers down residential routes so it may not be intentional.

Chairman Hagan asks if signs will be posted

Frye states yes, like anything this will be a learning curve.

Chairman Hagan calls for Public Participation:

Deputy Kip Mckenzie with the Bay County Sheriffs Dept. asks how many more deputies will the city provide to sit and enforce, and also if doing a chase, residential routes help for getting back onto Tyndall Pkwy.

Also mentions how residents should think of where they move and how close this is to Tyndall Pkwy... If a garbage truck can go down a residential road fully loaded, a truck full of product can go down since garbage trucks do more damage than product to a road.

Motion:

A motion was made by Board Member Conte and seconded by Vice-Chair Dougall to approve the Ordinance 1122 and Resolution 25-12. The motion carried upon 4-2 roll-call vote.

Board Member Overway: Yes

Board Member Conte: Yes

Board Member Langston: Yes

Board Member Carnahan: No

Vice-Chair Dougall: Yes

Chairman Hagan: No

**2. Review of Planned Development for Fox Glenn Phase 2
700 Block of N. Ave Fox Ave.**

Bill Frye, Director of Public Works reviewed the Planned Development plans.

Chairman Hagan asks if there was a continece between the city and the county a while back has been cleared up

Director Frye states, yes, not an issue

Board Member Overway min is 800 sq ft per house is there an average larger than that

Director Frye explains that is the minimum square footage of the house.

Scott Bolo, engineer representing Insite Land Development FG1, explains the home size and style planned and why.

Carnahan asks about parking for phase 1 and 2 for each house

Scott Bolo states everyone has a driveway, 2 car spots. HOA enforced so no crowded street parking.

Carnahan ask if there is a community parking lot for visitors

Bolo – No

Chairman Hagan calls for Public Participation, there was none.

Motion:

A motion was made by Vice-Chair Dougall and seconded by Board Member Conte to approve the Planned Development for Fox Glenn Phase 2. The motion carried unanimously upon roll-call vote.

3. Rezoning Application

1062 N. Tyndall Pkwy.

Parcel ID 06018-115-000

Bill Frye, Director of Public Works, reviewed the Rezoning Application.

Langston says the rezoning would allow for a car cleaning place, could it not?

Frye states without looking into code, it could.

Langston continues saying the sale of gasoline would still be permitted and describes what they could sell still. Also, mentions this was brought to the Commission and Planning Board August of last year.

Vice-Chair Dougall states this is a rezoning application so whatever they build still must come back to us.

Board Member Conte states maybe we need to better define the zoning terms, so it is not so confusing:

Sell gas but no gas station

Wash cars but no car wash

Board Member Carnahan asks the intent with the lot.

Doug Crook represents Panhandle Engineering and states they're just trying to zone the entire area the same so they can sell it.

Chairman Hagan calls for Public Participation, there was none.

Motion:

A motion was made by Vice-Chair Dougall and seconded by Board Member Conte to approve the Rezoning Application for 1062 N. Tyndall Pkwy. The motion carried upon a 5-1 roll-call vote, with Board Member Langston being the only No.

ADJOURNMENT

There being no further business, the meeting adjourned at 6:35 p.m.

Jay Mitchell, Administrative Support Clerk

Board Chairman Hagan

**CITY OF CALLAWAY
PLANNING DEPARTMENT
STAFF SUMMARY**

Development Order Review of Grand Oaks Subdivision

Date: August 5, 2025

Applicant / Engineer: Sean McNeil, PE, McNeil Carrol Engineering

Location of Subject Property: Seneca Ave, from 7th St. through to Hagin Dr.
Parcel ID# 24379-000-000 & 24380-000-000.

Background:

Sean McNeil, P.E. of McNeil Carrol Engineering on behalf of Jerry Steele has submitted a request for a Development Order to construct a subdivision of 36 single family homes.

Findings:

The property is approximately 7.213 acres.

The Callaway Planning Department has reviewed the development order application and finds that all of the information given is true and accurate to the best of its knowledge.

The current zoning of the property is Residential R-6.

The Public Works Department and Fire Department have reviewed the application and plans for the new subdivision and have no outstanding issues or concerns. The Planning Department has found that the plans do meet the requirements of the LDR, Planned Development and Comprehensive Plan.

Staff Recommendation:

Staff recommends that the Planning Board convey a recommendation of approval to the City Commission to allow staff to issue the Development Order to construct the new subdivision in accordance with the plans dated July 23, 2025.



Bill Frye
Director of Public Works & Planning

Enclosures: DO Application
Engineered plans dated July 23, 2025
Vicinity Map

Date Received: _____



Planning Department
324 S. Berthe Ave, Callaway, FL 32404
Phone (850) 871-1033
www.cityofcallaway.com

SUBDIVISION OR MULTI-FAMILY DEVELOPMENT ORDER APPLICATION

A. APPLICANT INFORMATION (Please print or type)

1. Name of applicant: Thomas Steele; Panhandle Construction Services Group, LLC
2. The applicant is the: A) Property Owner Yes or B) Authorized Agent _____
(If the applicant is an agent, attach a signed statement from the property owner granting permission for the agent to obtain any necessary permits)
3. Applicant address: P.O. Box 611413
Rosemary Beach, Florida 32461
4. Applicant telephone: (850) 348-8401 Email: _____
5. Name of project contact: Sean McNeil; McNeil Carroll Engineering, Inc.
6. Project contact address: 475 Harrison Avenue, Suite 200
Panama City, Florida 32401
7. Contact telephone: (850) 763-5730 Email: smcneil@mcneilcarroll.com
8. Name of person or firm the Development Order is to be issued to (If not same as the applicant): _____

Address of recipient: _____

9. Review fee amount (Please attach check made payable to City of Callaway)
 - Development Order Review \$500.00* \$ 500.00
 - Deviation from Site Plan \$500.00* \$ N/A

* Plus, Engineering and Attorney review fees reimbursed as billed.
(For a deviation from site plan, please attach a narrative citing approved development order detailing all proposed changes from approved development order)

B. PROJECT INFORMATION

1. Project name: Grand Oaks Subdivision
2. Proposed use of site (in acres): 7.13 Acres
3. Number of units (or lots if subdivision): 36 lots
4. Number of bedrooms per dwelling: 3
5. Proposed density in units per acre and intensity in impervious surface ratio: 5 du/ac - 42%
6. Are proposed roads, easements, stormwater facilities, and/or on-site utilities to be private or dedicated to the city? Yes dedicated to the city _____ private _____ combination (attach explanation)
7. Is this project part of an **existing** multi-phase development? X No _____ Yes; this project is part of _____
8. Is this project the start of a **new** multi-phase project? X No _____ Yes; this is a multi-phase project anticipated to be developed in _____ phases. This application is for phase(s) _____
9. Has the city previously issued any development order for the subject parcel? X No _____ Yes
If yes, what is status of current development order? _____
10. Height of tallest building above grade: <30'
11. Is this waterfront property: X No _____ Yes
If yes, to which waterbody is this property adjacent? _____

C. DEVELOPMENT SITE INFORMATION

1. Current use of site (in acres): Vacant / Single Family
2. Address of site: 615 Seneca Avenue
3. Property appraiser's parcel ID#(s) 24379-000-000 & 24380-000-000

NOTE: Copy of deed with legal description MUST be included.

4. Size of property: 318,380 (square feet); 7.13 (acres)
5. Name(s) of adjacent street(s):
North- E 7th Street South- Hagin Drive
East- N/A West- Seneca Avenue

D. SITE LAND USE DESIGNATIONS

1. Future Land Use Map Designation: LDRES (CAL)
2. Future Land Use Map Designation of Adjacent Parcels:
North- REC (CAL) / CON (CAL) South- LDRES (CAL)
East- LDRES (CAL) West- LDRES (CAL)
3. Is subject property in an Overlay(s): _____ Yes X No (If yes, please specify) _____

4. Subject property's zoning district(s):
 North- R-6(CAL) South- R-6 (CAL)
 East- R-6(CAL) West- R-6 (CAL)
5. Zoning districts of adjacent parcels:
 North- P(CAL) / CON(CAL) South- R-8 (CAL)
 East- R-6 (CAL) West- COM-1 (CAL)

E. SITE UTILITIES (Check all applicable services)

1. Water system
 Available capacity: _____
 Demand created by proposed development: 10,800 GPD
2. Sewer system
 Available capacity: _____
 Demand created by proposed development: 10,800 GPD

F. TRAFFIC IMPACTS

Appendix A contains information on Transportation Impact Fees.

1. HURRICANE EVACUATION - The subject property occurs in the following Hurricane Evacuation Zone(s): (Check all that apply)
- Tropical Storm Category 1 Hurricane Category 2 Hurricane
 Category 3 Hurricane Category 4-5 Hurricane X N/A

G. SITE ENVIRONMENTAL INFORMATION (Check all that apply)

1. X Flood Zone Type: X ; Elevation N/A
 2. Protected Trees (indicate type and size on site plan)
 3. Wetlands: FDEP COE
 4. Shoreline
 5. Coastal Area
 6. Aquifer Recharge
 7. Wildlife Habitat

An environmental assessment should be included with the application. This assessment should be prepared by a licensed environmental firm, and at a minimum should address the following:

- Hazardous materials inspection.
- Wetland delineation including all wetland buffers. Any recommended mitigation should be detailed.
- Characterization of the shoreline habitat and aquatic resources (shellfish, seagrass beds, etc.)
- Characterization of the uplands ecosystems and soils.
- Ecosystem characterization, threatened and endangered species report, including recommended mitigation, if necessary.
- survey of the Florida Master Site File (administered by the Bureau of Historic Preservation, Division of Historical Resources) to determine the presence of items of historical, cultural, or archeological significance.

H. REQUIRED PERMITS (Check all that apply)

1. ☐ Dredge and Fill (☐ DEP ☐ COE)
2. ☐ FDOT (☐ Driveway Access ☐ Drainage ☐ Utility)
3. ☒ Right-of-Way Use (☐ Bay County ☒ City of Callaway)
4. ☒ Driveway (☐ Bay County ☒ City of Callaway)
5. ☐ Water Well (☐ NFWFMD ☐ Health Dept)
6. ☒ FDEP Water Distribution
7. ☒ FDEP Wastewater Collection and Transmission
8. ☒ FDEP Stormwater
9. ☐ Others (specify): _____

I. CERTIFICATION OF RIGHT TO APPLY FOR DEVELOPMENT ORDER AND UNDERSTANDING OF TRANSPORTATION CONCURRENCY AND WETLANDS REQUIREMENTS

I hereby certify that the information contained herein is true and correct and that I am either the true and sole owner of the subject property or am authorized to act on behalf of the true owner(s) in all regards in this matter, pursuant to proof and authorization submitted with the corresponding development application or attached hereto. I hereby represent that I have the lawful right and authority to file this application. I understand that submission of the form initiates a process and does not imply approval by the City of Callaway.

I further certify that I understand that issuance of a Certificate of Concurrence will require successful completion of Development Review, and that likewise no final development order will be issued except upon successful completion of this Concurrence Review. I further understand that "Inquiry Only" Review will result in no Certificate of Concurrence being issued, and therefore no binding assurance of future capacity, and that a Concurrence Review application will be required in conjunction with the first final development order applied for on this property.

I do hereby certify my understanding that a thirty (30) foot buffer is required between DEP jurisdictional wetlands, and a fifty (50) foot buffer is required between the mean high-water line of East Bay and its tributaries. I understand that all vegetation must be preserved within the 30-foot buffer with no land clearing to occur. I further understand that erosion control measures (e.g., hay bales, silt fence) must be installed at the **landward** edge of the wetland buffer and along any ditch or other stormwater control structure prior to any clearing on the site and maintained throughout construction including final grading. I understand that a City of Callaway Development Order does not authorize any land clearing in jurisdictional wetlands and that permits must be obtained from the Department of Environmental Protection and/or the U. S. Army Corps of Engineers for development activities in wetlands.

By signing this application, the owner hereby authorizes the City of Callaway Planning Department to access the subject property to verify information contained in this application and accompanying submittal documents. Further, the person named as the Project Contact is authorized on my behalf (if applicable).

Thomas Jerry Steele 6/17/2025
Owner's or Authorized Agent's signature Date

Thomas Steele
(Please print or type name)

ENGINEER'S CERTIFICATION

I, Sean D. McNeil, certify that I have reviewed and intend to comply with the City of Callaway's Land Development Regulations.

Those item(s) not in compliance with the City of Callaway's Land Development Regulations for which I am requesting a variance or special exception for are listed below:

	Non-Compliance Item	Relevant Code Section	Reason(s)
1			
2			
3			
4			
5			

(Attach extra sheets if necessary)

Variances will be Approved or Disapproved by the city.

Approval or disapproval of the requested variances or special exception will be with the City Commission.

I, Sean D. McNeil, am fully aware of the information required to submit and request a complete development review.

The information contained in this submitted development package is true and correct to the best of my knowledge and the package is complete, prepared with sound engineering principles, and complies with all applicable city land development regulations unless noted otherwise.

Certified by: **Sean
McNeil**

Digitally signed by
Sean McNeil
Date: 2025.06.18
08:25:03 -05'00'

Company Name and Address:
McNeil Carroll Engineering, Inc.
475 Harrison Avenue, Suite 200
Panama City, Florida 32401

Date: _____
Name: Sean McNeil
Title: President
Telephone: (850) 763-5730
P.E. Registration No. 49303

CITY OF CALLAWAY
DEVELOPMENT MEMORANDUM OF UNDERSTANDING
FOR WATER AND/OR SEWER FACILITIES

It is hereby understood by and between the City of Callaway and Thomas Steele, the Developer/Authorized Agent of Panhandle Construction Services Group, LLC that all developments receiving water and sewer services from the City will comply with the following provisions:

1. All water and sewer facilities being constructed by the developer in conjunction with this project, shall be constructed in accordance with plans and specifications prepared and sealed by a registered professional engineer licensed to participate in the State of Florida.
2. All water meters and appurtenances shall be approved by the City and installed by the developer at no cost to the city. All meters shall include meter transmitting units (MTU) and towers as determined by the City to be necessary to provide a fixed network meter read system.
3. Water and sewer facilities being constructed by the developer for which the City will be requested to assume maintenance and operation responsibilities shall be constructed in accordance with the City's Land Development Regulations and other applicable ordinances.
4. It shall be the developer's responsibility to properly secure all applicable Local, County, State, and Federal permits to construct these facilities, including the payment of all associated fees.
5. It shall be the developer's responsibility to ensure compliance with all applicable laws, regulations, and permit conditions during construction.
6. Water service for construction purposes only may be permitted by the city upon specific metered fire hydrant or other above ground connection. The developer will be responsible for payment of water consumption.
7. The developer shall ensure that no potable water service will be provided through these facilities until:
 - A. All bacteriological and pressure testing has been completed.
 - B. The system has been approved for use by the Department of Environmental Protection.
 - C. As-built plans have been received by the city.
 - D. All required submittals have been received (i.e., pump station valves, hydrants, meters, etc.)
 - E. All applicable fees are paid in full.
8. The developer assumes full responsibility for payment of all enforcement action fees, penalties, remediation costs, or similar expenses imposed against the city by the Department of Environmental Protection or any settlement arising from such an enforcement action in any way or in any part caused by or related to this project and for legal and/or professional fees incurred by the city in defending or addressing any such enforcement action.
9. No public utility service shall be provided to the development until all the above conditions are met, inspected, and approved by the city. It is the developer's responsibility to call for inspections as required 48 hours in advanced.

By execution below, the developer is certifying that he/she has read and understands the provisions outlined herein and accepts full responsibility for compliance therewith. If signed by agent or anyone other than owner/developer, please provide documents authorizing the person to sign.

Thomas Steele
Developer (Print)

Panhandle Construction Services Group, LLC
Company (Print)

N/A
Authorized Agent (Print)

6/17/2025
Date

6/17/2025
Date

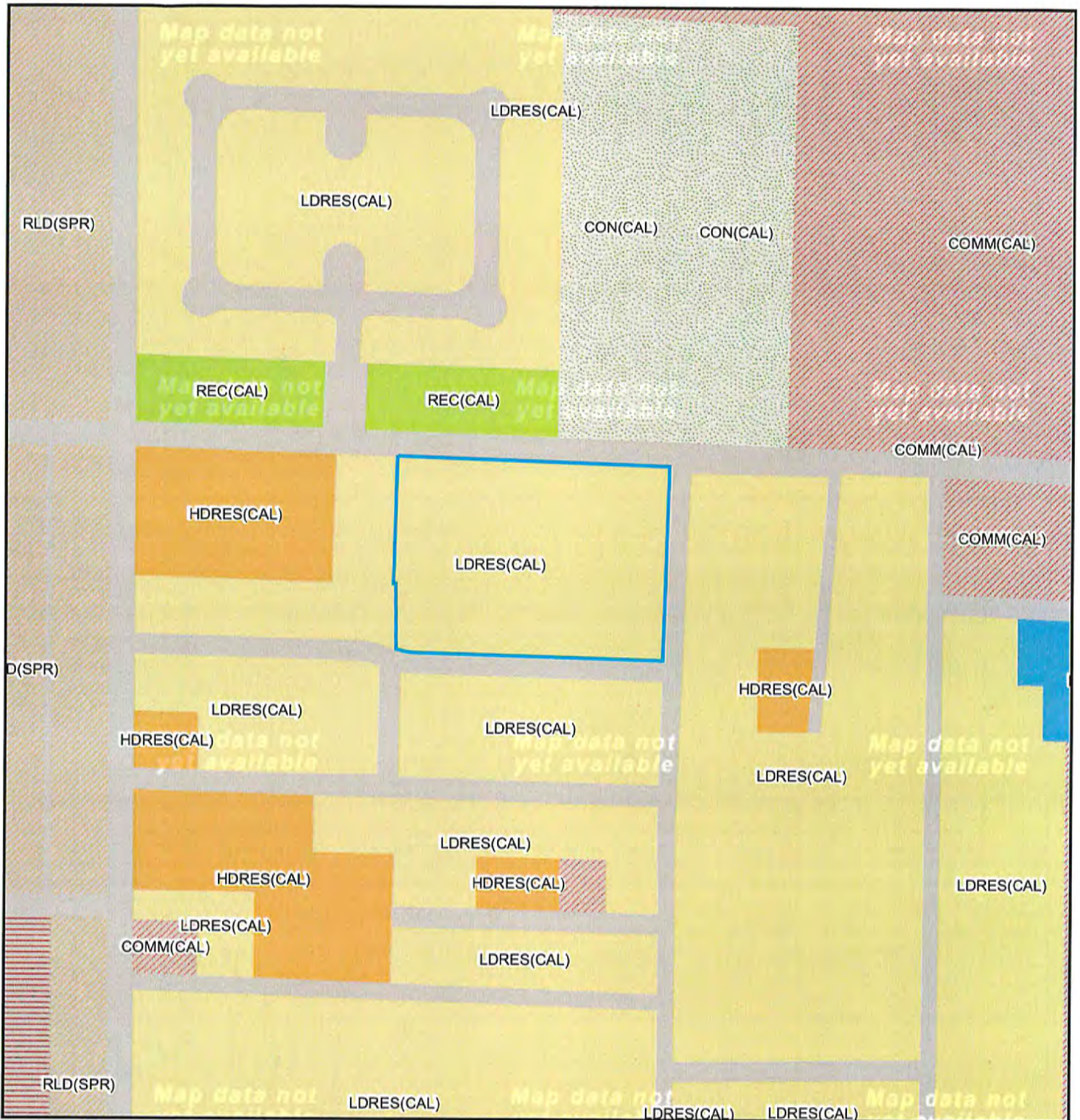
Thomas Steele
Signature



polylineLayer
— Override 1

Aerial







Future Land Use



polylineLayer - Override 1 futurelanduse - High Density Residential - Low Density Residential	- Public Buildings & Facilities - Mixed Use - Recreational - Commercial - Conservation	- Residential Low Density - Public Institutional
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Zoning Map



polylineLayer

- Override 1
- Parcels

zoning

- Residential R-6
- Residential R-8
- Residential Multi-Family
- Commercial
- Conservation

Residential R-6M

Parks

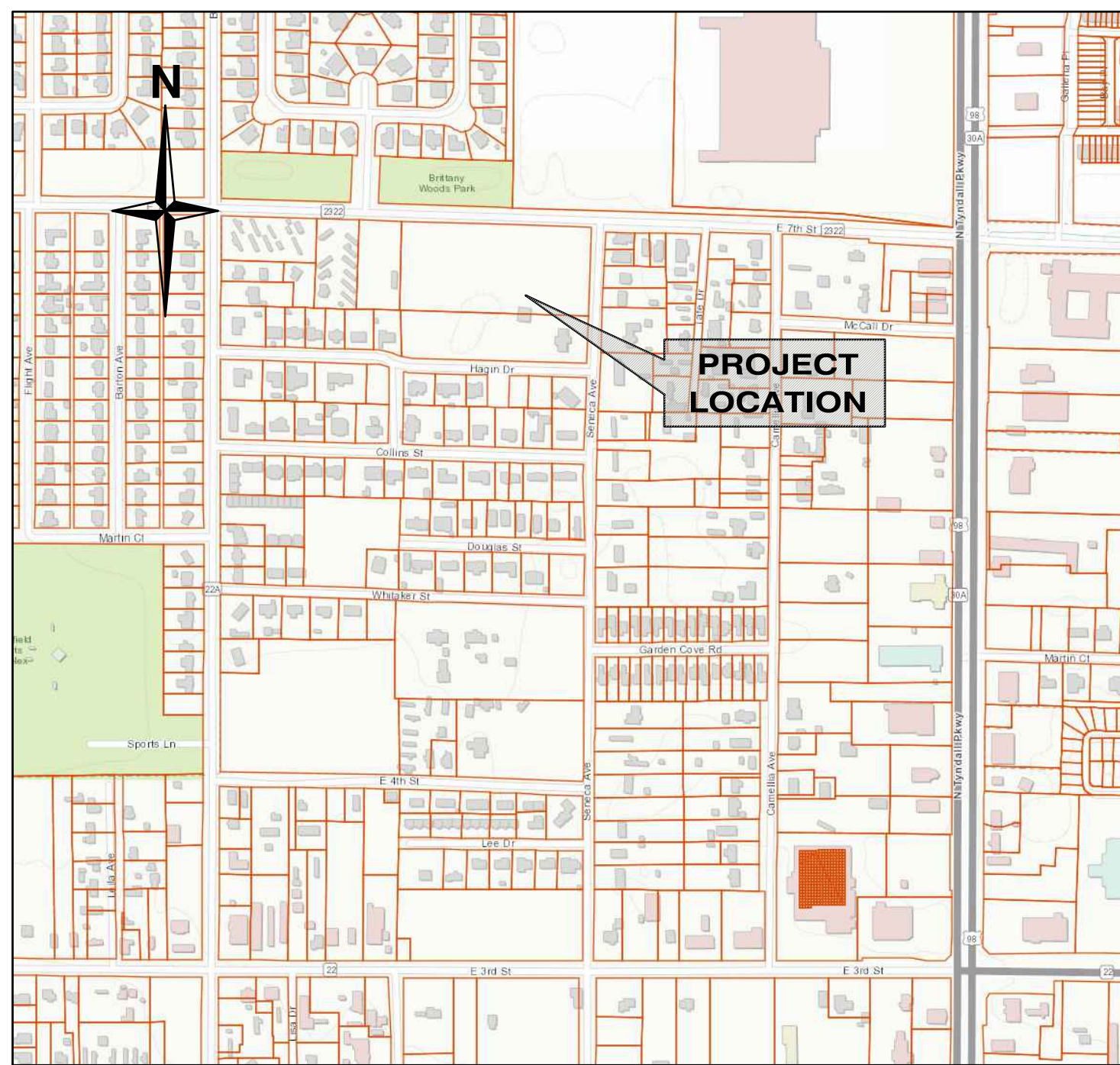
GRAND OAKS SUBDIVISION

CALLAWAY, FLORIDA

FOR:

PANHANDLE CONSTRUCTION SERVICES GROUP

P.O. BOX 611413
ROSEMARY BEACH, FLORIDA



VICINITY MAP
NOT TO SCALE

PREPARED BY:

MCNEIL

CARROLL

ENGINEERING, INC.

Professional Engineering Consultants

STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

475 Harrison Avenue, Suite 200
Panama City , Florida 32401

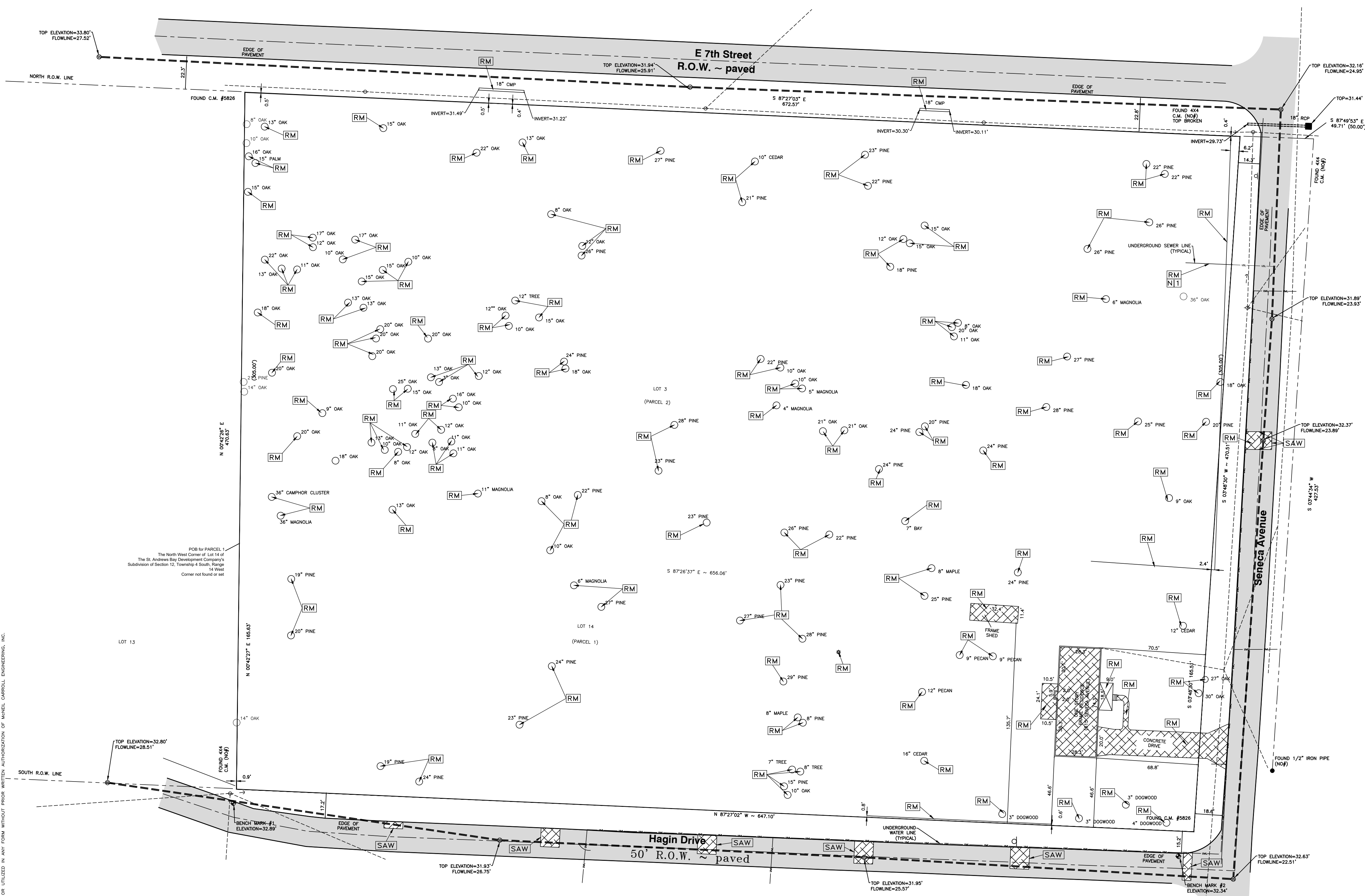
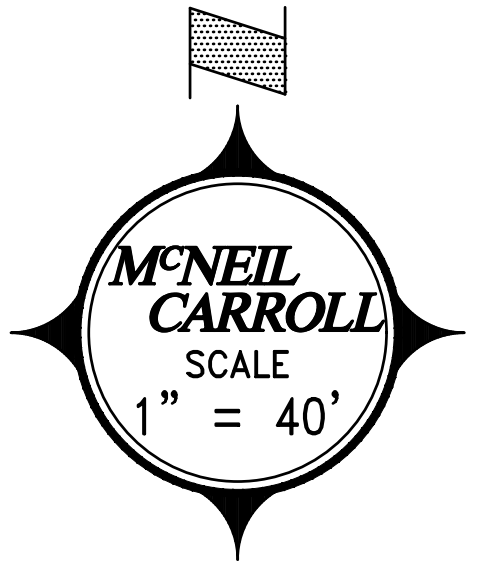
Phone: 850-763-5730
Fax: 850-763-5744

PROJECT 1582.01

INDEX OF SHEETS	SHEETS
DEMOLITION PLAN	1
EROSION CONTROL PLAN	2
LAYOUT PLAN	3
GRADING AND DRAINAGE PLAN	4
UTILITY PLAN	5
CROSS SECTIONS	6
CONSTRUCTION DETAILS	7-11



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY
SEAN DAVID MCNEIL, PE, ON DATE USING A DIGITAL SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED WITHOUT THE DIGITAL COPY.
THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES
IN ACCORDANCE WITH RULE 600S-23.004 F.A.C.



- SITE DEMOLITION DRAWING NOTES:
1. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.
 2. ALL DEMOLISHED MATERIALS (i.e., SIGNS, CONCRETE, ASPHALT, ETC...) TO BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.
 3. ALTHOUGH EVERY ATTEMPT TO LOCATE UNDERGROUND UTILITIES HAS BEEN MADE, THERE IS THE POSSIBILITY OF UNDERGROUND GAS, ELECTRICAL, WATER SEWER, ETC... THAT HAS NOT BEEN LOCATED. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 4. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR FOLLOWING REQUIRED WASTE MANAGEMENT PRACTICES AS DEFINED BY GOVERNING MUNICIPALITY.
 5. IS THE CONTRACTORS RESPONSIBILITY TO CALL SUNSHINE ONE AT 811 FOR UTILITY LOCATES PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL REMOVE EXISTING SEWER LINE ON THE PROPERTY AND CAP THE EXISTING LINE

- SYMBOL LEGEND
- [N1] (SEE NOTE i.e., #1 - SEE NOTES ON THIS SHEET)
 - [RJ] (REMOVE EXISTING MATERIALS TO NEAREST JOINT)
 - [RM] (REMOVE EXISTING MATERIALS)
 - [SAW] (SAW CUT AND REMOVE EXISTING MATERIALS)

PERMIT PURPOSES ONLY

DEMOLITION PLAN
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA

SCALE SHOWN
DESIGNED BY: JFP
DRAWN BY: JFP
REVIEWED BY: SDM
ISSUE DATE: 7/21/2025
OF/DS: 1582.01E01 rev
NOT RELEASED FOR CONSTRUCTION
DATE:



475 Harrison Avenue, Suite 200
Panama City, Florida 32401
850-763-5730

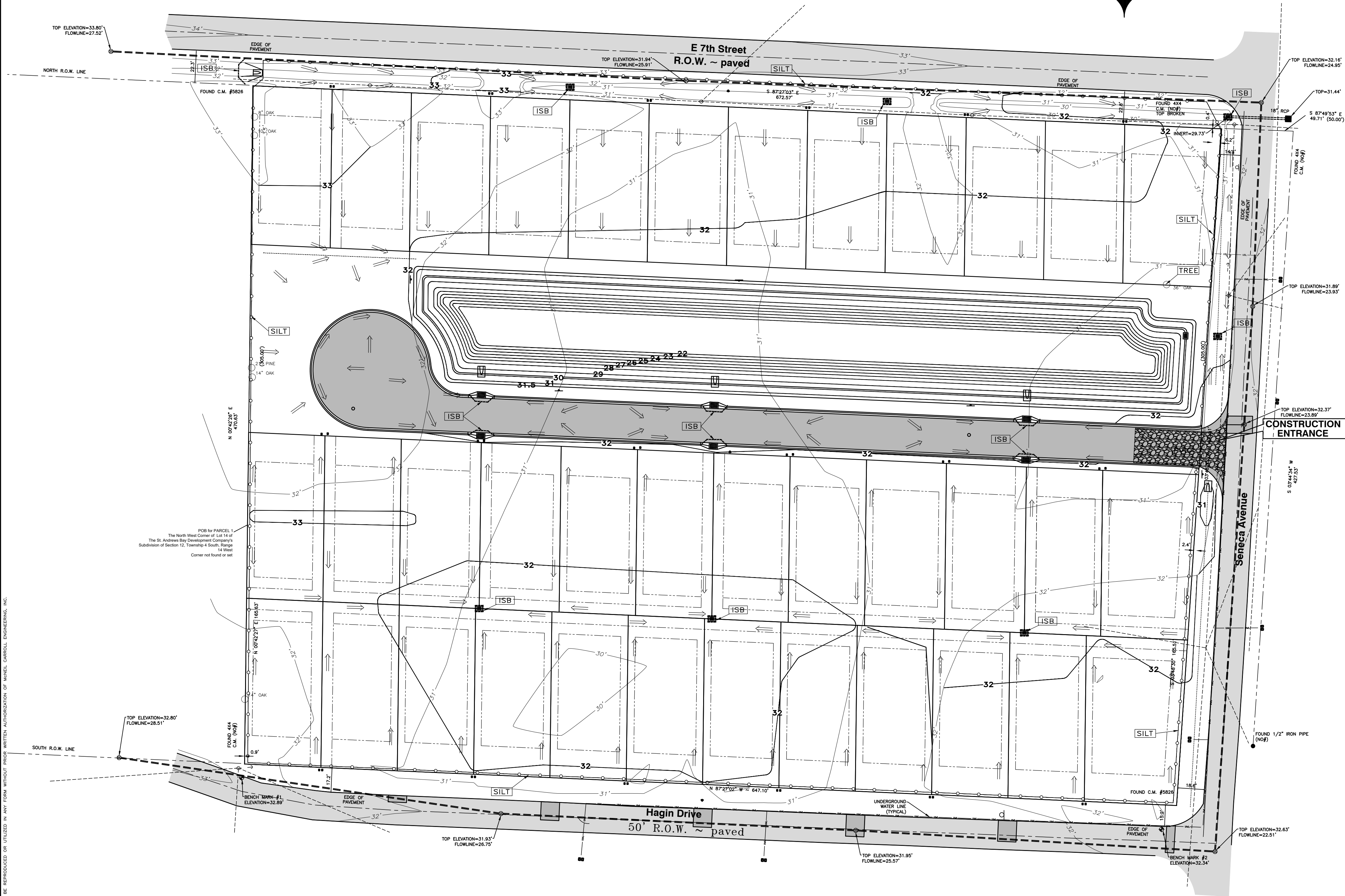
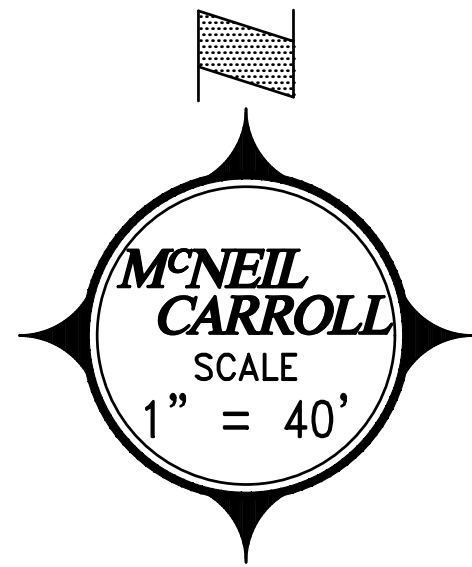
Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

NO.	DATE	BY	REVISIONS
01			
02			
03			
04			
05			

Sean D. McNeil, P.E.
PROFESSIONAL ENGINEER
FL LIC # 49565

Robert L. Carroll, P.E.
PROFESSIONAL ENGINEER
FL LIC # 57988

07/21/25



- SITE EROSION CONTROL DRAWING NOTES:
1. EROSION CONTROL SHALL BE MAINTAINED FOR THE DURATION FOR THE PROJECT.
 2. ALL CONSTRUCTION OUTSIDE OF PROPERTY LINES IS SHOWN IN DETAIL ON PERMIT DRAWINGS. (SEE GENERAL NOTES.)
 3. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.
 4. SEE SECTIONS IN CONSTRUCTION DETAILS.
 5. SILT FENCE TO BE INSTALLED AT PERIMETER OF SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES WILL BE UTILIZED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT TO RESTRICT ANY TURBID RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 6. CONTROL OF SEDIMENT-LADEN RUNOFF SHALL BE PROVIDED WITH HAY BALES AND/OR GEOTEC STYLE FABRICS. ALL CONTROL MEASURES SHALL BE PROPERLY LOCATED AND CONSTRUCTED TO PREVENT SEDIMENT TRANSPORT. THE MEANS FOR RETAINING THE SEDIMENTS WILL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT IMPROVEMENTS ARE COMPLETE.
 7. THE CONTRACTOR IS RESPONSIBLE FOR TREATING ALL ONSITE STORMWATER DRAINAGE AS REQUIRED TO MEET THE CRITERIA OF 62-3 FLORIDA ADMINISTRATIVE CODE, F.A.C. PRIOR TO DISCHARGE.
 8. ALL CATCH BASINS, INLETS AND ACCESSES TO UNDERGROUND STORMWATER SYSTEMS SHALL BE PROTECTED IN ACCORDANCE WITH THE ATTACHED DETAILS.
 9. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE TERMS AND CONDITIONS OF ANY STORMWATER PERMITS THAT MAY APPLY (FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, FLORIDA DEPARTMENT OF TRANSPORTATION, BAY COUNTY, WATER MANAGEMENT DISTRICT, ETC.).
 10. CONSTRUCTION DRIVES SHALL SLOPE AWAY FROM THE ROADWAY AT A MINIMUM SLOPE OF 2.00% TO DISTANCE OF NOT LESS THAN 15 FEET FROM THE EDGE OF PAVEMENT. THE MAXIMUM WIDTH OF THE DRIVE SHALL BE 30 FEET WITH #57 GRAVEL SURFACE 6 INCHES THICK. SIGNS SHALL BE PLACED IN ACCORDANCE WITH CITY AND STATE REQUIREMENTS) TO WARN APPROACHING DRIVERS AND PEDESTRIANS.
 11. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR FOLLOWING REQUIRED WASTE MANAGEMENT PRACTICES AS DEFINED IN THE BAY COUNTY MUNICIPAL CODE SECTION 22-91 "UNLAWFUL DISPOSAL OR TRANSFER OF WASTE", WHICH MAKES IT UNLAWFUL FOR ANY PERSON TO DUMP, LEAVE OR BURY ANY SOLID WASTE ON PUBLIC OR PRIVATE PROPERTY.
 12. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING COVERAGE UNDER THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION OR ANY DISTURBANCE OF LAND GREATER THAN 1 ACRE. THE DEVELOPER/CONTRACTOR WILL FORWARD A COPY OF THE PERMIT AND WILL PROVIDE 48 HOUR NOTIFICATION TO THE APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL REQUIRED ELEMENTS OF THE SWPP MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION. FAILURE TO COMPLY COULD RESULT IN CODE ENFORCEMENT ACTION AND FINES.
 13. QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND/OR WITHIN 24 HOURS OF THE END OF A STORM EVENT (RAINFALL) THAT IS A 1/2 INCH OR GREATER:
 - A. POINTS OF DISCHARGE TO WATERS OF THE UNITED STATES.
 - B. POINTS OF DISCHARGE TO MUNICIPAL SEPARATE STORM WATER SYSTEMS.
 - C. DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - D. AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
 - E. STRUCTURAL CONTROLS.
 - F. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
 14. THE CONTRACTOR SHALL INITIATE REPAIRS WITHIN 24 HOURS OF INSPECTION THAT INDICATE ITEMS ARE NOT IN GOOD WORKING ORDER. TO COMPLY, THE CONTRACTOR SHALL INSTALL AND MAINTAIN RAIN GAGES AND DAILY RAINFALL RECORDS. WHERE SITES HAVE BEEN PERMANENTLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH. THE CONTRACTOR SHALL ALSO INSPECT AND CERTIFY THAT CONTROLS INSTALLED IN THE FIELD AGREE WITH THE LATEST STORMWATER POLLUTION PREVENTION PLAN.
 15. IF INSPECTIONS INDICATE THAT THE INSTALLED STABILIZATION AND STRUCTURAL PRACTICES ARE NOT SUFFICIENT TO MINIMIZE EROSION, RETAIN SEDIMENT, AND PREVENT DISCHARGING POLLUTANTS, THE CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES. WHERE SITES HAVE BEEN PERMANENTLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH, AS NEEDED.
 16. RECORDS OF THE INSPECTIONS AND THE CONSTRUCTION PERMIT MUST BE MAINTAINED AT THE CONSTRUCTION SITE AND BE READILY AVAILABLE FOR INSPECTION.
 17. ALL STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, DEMOLITION OR OTHER DISTURBANCE TO THE SUBJECT SITE.

CONSTRUCTION SEQUENCE AND BMP'S NWFWMD

18. THE INITIAL PART OF THE CONSTRUCTION PROCESS SHALL BE THE INSTALLATION OF SILT FENCE AROUND THE PERIMETER OF THE AREA THAT IS TO BE DISTURBED TO ENSURE NO TURBID RUNOFF LEAVES THE CONSTRUCTION SITE. THE SILT FENCE SHALL BE INSTALLED PER THE CONSTRUCTION DETAILS. IF THERE IS A POSSIBILITY OF RUNOFF TO A WATER BODY, TURBIDITY CURTAIN SHALL BE INSTALLED PER THE CONSTRUCTION DETAILS. THE SECOND STEP SHALL BE THE INSTALLATION OF THE CONSTRUCTION ENTRANCE AND DEMOLITION OF ANY EXISTING IMPROVEMENTS AS NEEDED (SEE DEMOLITION PLAN). THE THIRD STEP SHALL BE TO CLEAR AND GRUB AREAS WHERE IMPROVEMENTS ARE TO BE INSTALLED. AS FILL IS BROUGHT INTO THE SITE, THE STORMWATER BASIN SHOULD BE CREATED TO CAPTURE ANY OVERLAND FLOW AND ACT AS A SEDIMENT TRAP. IT IS RECOMMENDED THAT THE BASIN BE CONSTRUCTED APPROXIMATELY 1/2' HIGHER THAN DESIGN AT THIS POINT TO ENSURE ALL SILTS AND FINES ARE REMOVED AT THE TIME OF FINAL GRADING OF THE STORMWATER BASIN.
19. TYPICALLY, THE SANITARY SEWER, STORM SEWER, AND WATER MAINS ARE INSTALLED RESPECTIVELY. UPON INSTALLATION OF THE STORM SEWER, HAY BALES AND FILTER FABRICS SHALL BE USED AT ALL INLET OPENINGS PER THE CONSTRUCTION DETAILS TO THE KEEP THE SYSTEM FREE OF SEDIMENTS DURING THE CONSTRUCTION PHASE. DEPENDING ON SITE CONDITIONS AND SIZE, SEDIMENT TRAPS SHALL BE UTILIZED TO PREVENT TURBID RUNOFF FROM LEAVING THE SITE (SEE EROSION CONTROL PLAN).
20. SITE STABILIZATION SHALL BE PROVIDED AS SOON AS THE GRADING WILL ALLOW IN ORDER TO STOP EROSION AND REDUCE TURBID RUNOFF. SEEDING, SODDING, OR HYDROSEEDING SHALL BE USED WHEN FINAL GRADES ARE ESTABLISHED.
21. EROSION CONTROL MEASURES SHALL BE UTILIZED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT AND BE MANAGED IN ACCORDANCE WITH THE STATE NPDES PROGRAM.
22. THE DESIGN OF THE STORMWATER MANAGEMENT SYSTEM FOR THIS PROJECT COMPLIES WITH THE REQUIREMENT OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT.
23. THE OWNER OR THE OWNER REPRESENTATIVE IS RESPONSIBLE FOR MONITORING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY AND SUBMITTING TO THE APPROPRIATE AGENCY NOTICE OF COMMENCEMENT AND AS-BUILT CERTIFICATIONS FOR THE PROJECT WHEN COMPLETED.

SYMBOL LEGEND

- (STORMWATER SURFACE FLOW)
- ISB (INLET SEDIMENT BARRIER - SEE CONSTRUCTION DETAILS)
 - SILT (SILT FENCE - SEE CONSTRUCTION DETAILS)
 - PVIS (24' WIDE X 50' DEEP FOOT #1 OR #2 GRAVEL CONSTRUCTION ENTRANCE 6" THICK)
 - TREE (TREE PROTECTION - SEE CONSTRUCTION DETAILS)

PERMIT PURPOSES ONLY

EROSION CONTROL PLAN GRAND OAKS SUBDIVISION 7TH & SENECA CALLAWAY, FLORIDA

SCALE SHOWN
DESIGNED BY: JFP
DRAWN BY: JFP
REVIEWED BY: SDM
ISSUE DATE: 7/21/2025
C/D/S: 1582.01E01 rev
NOT RELEASED FOR CONSTRUCTION
DATE:

**McNEIL
CARROLL**
ENGINEERING, INC.

475 Harrison Avenue, Suite 200
Panama City, Florida 32401
850-763-5730

Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

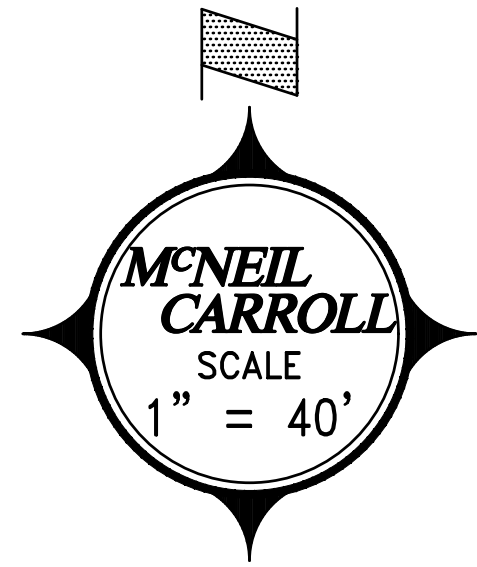
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07/21/25

SHEET NUMBER
2 OF 11
1582.01 - GRAND OAKS SUBDIVISION



SITE LAYOUT DRAWING NOTES:

1. ALL RADII AT FACE OF CURB ARE 5' UNLESS OTHERWISE SHOWN.
2. CONTRACTOR SHALL PROVIDE McNEIL CARROLL ENGINEERING, INC. FIVE (5) SETS OF AS-BUILT DRAWINGS AND ONE (1) DIGITAL COPY (AUTOCAD FORMAT) OF THE COMPLETED PROJECT. DRAWINGS SHALL BE PREPARED AND SIGNED & SEALED BY A FLORIDA REGISTERED SURVEYOR.
3. ALL DIMENSIONS AT CURB ARE FROM FACE OF CURB.
4. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SODDED PER FDOT INDEX 105.
5. A COPY OF ALL REGULATORY PERMITS SHALL BE KEPT ON SITE.
6. THE CONTRACTOR SHALL REVIEW THE COMPLETE NWFWD PERMIT PRIOR TO CONSTRUCTION COMMENCEMENT.
7. AN 8 1/2 x 11 NWFWD WEATHER RESISTANT SIGN, INCLUDING THE PERMIT NUMBER SHALL BE PLACED ON THE PROPERTY FACING THE ROAD.
8. ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.
9. ALL ABOVE GROUND UTILITIES TO BE SCREENED BY LANDSCAPING.
10. ALL EASEMENTS SHALL BE DEDICATED TO THE CITY OF CALLAWAY.

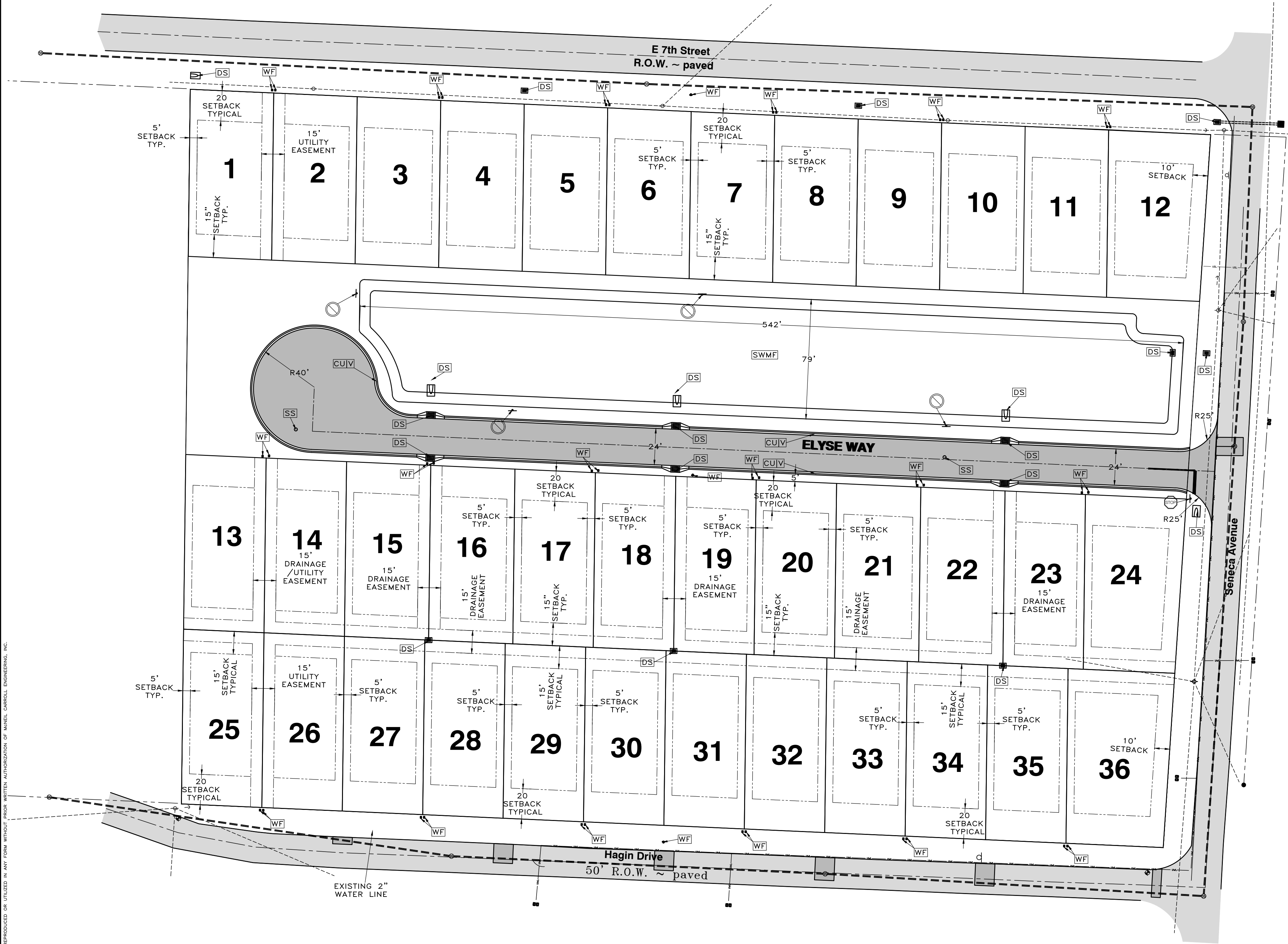
SYMBOL LEGEND

- (DENOTES NEW "STOP" SIGN)
- (DENOTES NEW "IN-WATER RECREATION IS PROHIBITED" SIGN)
- CU/V** (F.D.O.T. CURB $\frac{1}{2}$ TYPE V VALLEY CURB)
- DS** (DRAINAGE STRUCTURE - SEE GRADING & DRAINAGE PLAN)
- N1** (SEE NOTE $\frac{1}{2}$, #1 - SEE NOTES ON THIS SHEET)
- SS** (SEWER STRUCTURE - SEE UTILITY PLAN)
- SWMF** (STORM WATER MANAGEMENT FACILITY)
- WF** (WATER FIXTURE - SEE UTILITY PLAN)

SITE DATA TABLE		
PARCEL ID: 24379000-000 & 24380-000-000		
GOVERNING ENTITY - CITY OF CALLAWAY		
ZONING - RESIDENTIAL R6		
TOTAL AREA OF SITE: 310,380 SQUARE FEET - 7.13 ACRES		
FLOOD ZONES ON PROPERTY : X		
TOTAL IMPERVIOUS AREA	ALLOWED/REQUIRED	PROPOSED
155,190 SQUARE FEET - 3.56 ACRES		133,100 SQUARE FEET - 3.06 ACRES
IMPERVIOUS SURFACE RATIO	0.50	0.42
DENSITY	16 UNITS PER ACRE	5.04 UNITS PER ACRE
OPEN SPACE AREA	155,190 SQUARE FEET - 3.56 ACRES	177,280 SQUARE FEET - 4.07 ACRES
OPEN SPACE RATIO	0.50 MIN.	0.58
FRONT YARD SETBACK	20 FEET	20+ FEET
SIDE YARD SETBACK	5 FEET	5+ FEET
REAR YARD SETBACK	15 FEET	15+ FEET
CORNER SETBACK ABUTTING STREET	10 FEET	10+ FEET

TRIP GENERATION SCHEDULE				
DESCRIPTION/ ITE CODE	UNIT DESIGNATION	EXPECTED UNITS	EXPECTED DAILY TRIPS	P.M. PEAK TRIPS
SINGLE FAMILY HOMES / 210	DU	36	345	36

CALCULATION DERIVED FROM ITE 10TH EDITION.



PERMIT PURPOSES ONLY

LAYOUT PLAN
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA

SCALE SHOWN
DESIGNED BY: JFP
DRAWN BY: JFP
REVIEWED BY: SDM
ISSUE DATE: 7/21/2025
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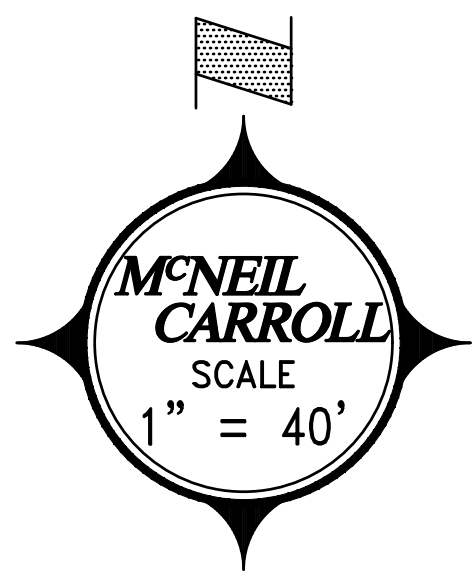
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07/21/25

SHEET NUMBER
3 OF 11

1582.01 - GRAND OAKS SUBDIVISION



SITE GRADING AND DRAINAGE DRAWING NOTES:

1. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.
2. ALL DEMOLISHED MATERIALS (i.e., SIGNS, CONCRETE, ASPHALT, ETC...) TO BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.
3. SEE SECTIONS IN CONSTRUCTION DETAILS.
4. PROPOSED FINISHED FLOORS SHALL BE 1 FOOT (MIN.) ABOVE ROADWAY CENTERLINE.
5. CONTRACTOR SHALL PROVIDE McNEIL CARROLL ENGINEERING, INC. FIVE (5) SETS AND ONE (1) DIGITAL COPY (AUTOCAD FORMAT) OF AS-BUILT DRAWINGS OF THE COMPLETED PROJECT. DRAWINGS SHALL BE PREPARED AND SIGNED & SEALED BY A FLORIDA REGISTERED SURVEYOR.
6. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL SUNSHINE ONE AT 811 FOR UTILITY LOCATES PRIOR TO CONSTRUCTION.
7. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SODDED PER FDOT INDEX 105.

SYMBOL LEGEND

34.80	(EXISTING SPOT ELEVATION)
36	(EXISTING CONTOUR)
+12.50	(PROPOSED FINISHED GRADE)
→	(STORMWATER SURFACE FLOW)
CUV	(F.D.O.T. CURB i.e., TYPE V VALLEY CURB - SEE CONSTRUCTION DETAILS)
DP16	(SEE DRAINAGE PIPE SCHEDULE THIS SHEET i.e., #16)
DS12	(SEE DRAINAGE STRUCTURE SCHEDULE THIS SHEET i.e., #12)
PVIA	(ASPHALT PAVEMENT - SEE CONSTRUCTION DETAILS)
PVIP	(ASPHALT PAVEMENT PATCH - SEE CONSTRUCTION DETAILS)
MAT	(MATCH PROPOSED FLUSH WITH EXISTING SURFACE)
N1	(SEE NOTE i.e., #1 - SEE NOTES THIS SHEET)
SWMF1	(SEE STORM WATER MANAGEMENT FACILITY SCHEDULE THIS SHEET)
TRANS	(TRANSITION CURB 3')

DRAINAGE PIPE SCHEDULE				
NO.	SIZE	LF	TYPE	SLOPE
DP1	18"	119	ADS	0.00%
DP2	18"	26	ADS	0.00%
DP3	18"	19	ADS	0.00%
DP4	18"	19	ADS	0.00%
DP5	18"	26	ADS	0.00%
DP6	18"	19	ADS	0.00%
DP7	18"	119	ADS	0.00%
DP8	18"	26	ADS	0.00%
DP9	18"	19	ADS	0.00%
DP10	12X18	100	ELLIPTICAL RCP	0.25%
DP11	18"	26	ADS	0.00%
DP12	18"	26	ADS	0.00%
DP13	18"	217	ADS	0.00%
DP14	18"	24	ADS	0.00%
DP15	18"	20	ADS	0.00%

STORM WATER MANAGEMENT FACILITY SCHEDULE				
NO.	Basin Area	Top of Bank Elev.	Side Slope	Bottom Elev.
SWMF1	0.95 AC	EL. 31.50	VARIES	EL. 22.00

31.50 TO 27.75 4 TO 1 SLOPE
27.75 TO 22.00 2 TO 1 SLOPE
SEE SITE LAYOUT PLAN FOR DIMENSIONS

ALL ADS PIPE SHALL BE AS SHOWN OR EQUAL
ALL PERFORATED PIPE SHALL HAVE A GRAVEL PACK
ALL ADS PIPE SHALL BE RATED N-12
SEE CONSTRUCTION DETAILS.

DRAINAGE STRUCTURE SCHEDULE				
NO.	TYPE STRUCTURE	TOP OF GRATE	PIPE INVERT	BOTTOM INVERT
DS1	FDOT TYPE C INLET	EL. 31.50	EL. 29.00 N.	EL. 29.00
DS2	GUTTER INLET TYPE V	EL. 31.50	EL. 28.75 S. N.	EL. 27.75
DS3	GUTTER INLET TYPE V	EL. 31.50	EL. 28.70 S. N.	EL. 27.70
DS4	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A
DS5	FDOT TYPE C INLET	EL. 31.50	EL. 29.00 N.	EL. 28.00
DS6	GUTTER INLET TYPE V	EL. 31.50	EL. 28.75 S. N.	EL. 27.75
DS7	GUTTER INLET TYPE V	EL. 31.50	EL. 28.70 S. N.	EL. 27.70
DS8	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A
DS9	FDOT TYPE C INLET	EL. 31.50	EL. 29.00 N.	EL. 28.00
DS10	GUTTER INLET TYPE V	EL. 31.50	EL. 28.75 S. N.	EL. 27.75
DS11	GUTTER INLET TYPE V	EL. 31.50	EL. 28.70 S. N.	EL. 27.70
DS12	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A
DS13	FDOT TYPE C INLET	EL. 31.50	EL. 29.75 N. W. S.	EL. 28.75
DS14	12X18 CONCRETE MITERED END	EL. N/A	EL. 30.00	EL. N/A
DS15	15" CONCRETE MITERED END	EL. N/A	EL. 31.50	EL. N/A
DS16	FDOT TYPE C INLET	EL. 31.50	EL. 30.70 E. W.	EL. 29.70
DS17	FDOT TYPE C INLET	EL. 31.50	EL. 30.75 E. W.	EL. 29.75
DS18	FDOT TYPE C INLET	EL. 31.50	EL. 29.75 W. S. & EL. 29.73 E. EXISTING 18" RCP	EL. 28.70
DS19	FDOT TYPE C INLET	EL. 31.00	EL. 29.75 E. & EL. 30.5 (9 PIPS) W. & EL. 29.75 W. EL. 28.70	EL. 28.70

SEE CONSTRUCTION DETAILS.
2" SUMP UNLESS OTHERWISE NOTED.

STORMWATER OPERATION AND MAINTENANCE SCHEDULE

- (A) STORMWATER MANAGEMENT SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED DESIGN, PLANS AND CALCULATIONS.
- (B) THE OPERATION AND MAINTENANCE ENTITY SHALL PROVIDE FOR THE INSPECTION OF THE STORMWATER MANAGEMENT SYSTEM IN ACCORDANCE WITH SUBSECTION 62-346.09(6), F.A.C. DURING THE INSPECTION, SPECIAL ATTENTION SHOULD BE MADE TO INSURE THAT:
1. ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE.
 2. THE SURFACE WATER MANAGEMENT SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, AND OTHER REFUSE.
 3. ENGINEERED STORMWATER MANAGEMENT SYSTEM THAT INCLUDE OIL AND GREASE SEPARATORS, SKIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OIL OR GREASES, OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF AT A SANITARY LANDFILL OR BY OTHER LAWFUL MEANS.
 4. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.
- (C) INSPECTIONS OF THE PERMITTED SYSTEM SHOULD BE CONDUCTED AT LEAST ONCE EVERY THIRD YEAR AFTER CONVERSION OF A PERMIT TO THE OPERATION PHASE.

PERMIT PURPOSES ONLY

GRADING AND DRAINAGE PLAN
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA

SCALE SHOWN
DESIGNED BY: JEP
DRAWN BY: JEP
REVIEWED BY: SDM
ISSUE DATE: 7/21/2025
OF/D: 1582.01E01 rev
NOT RELEASED FOR CONSTRUCTION DATE:

McNEIL
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475 Harrison Avenue, Suite 200
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850-763-5730

Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

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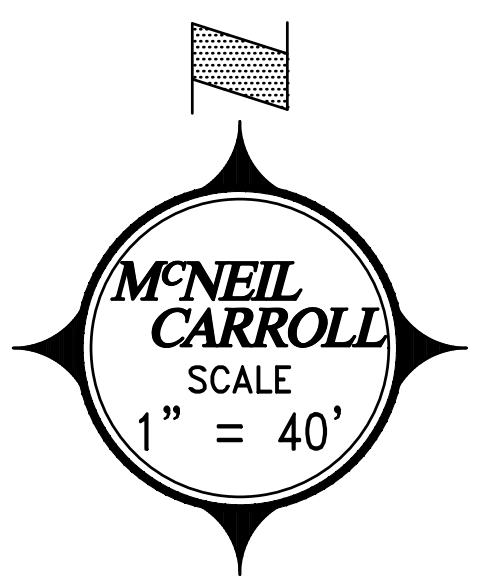
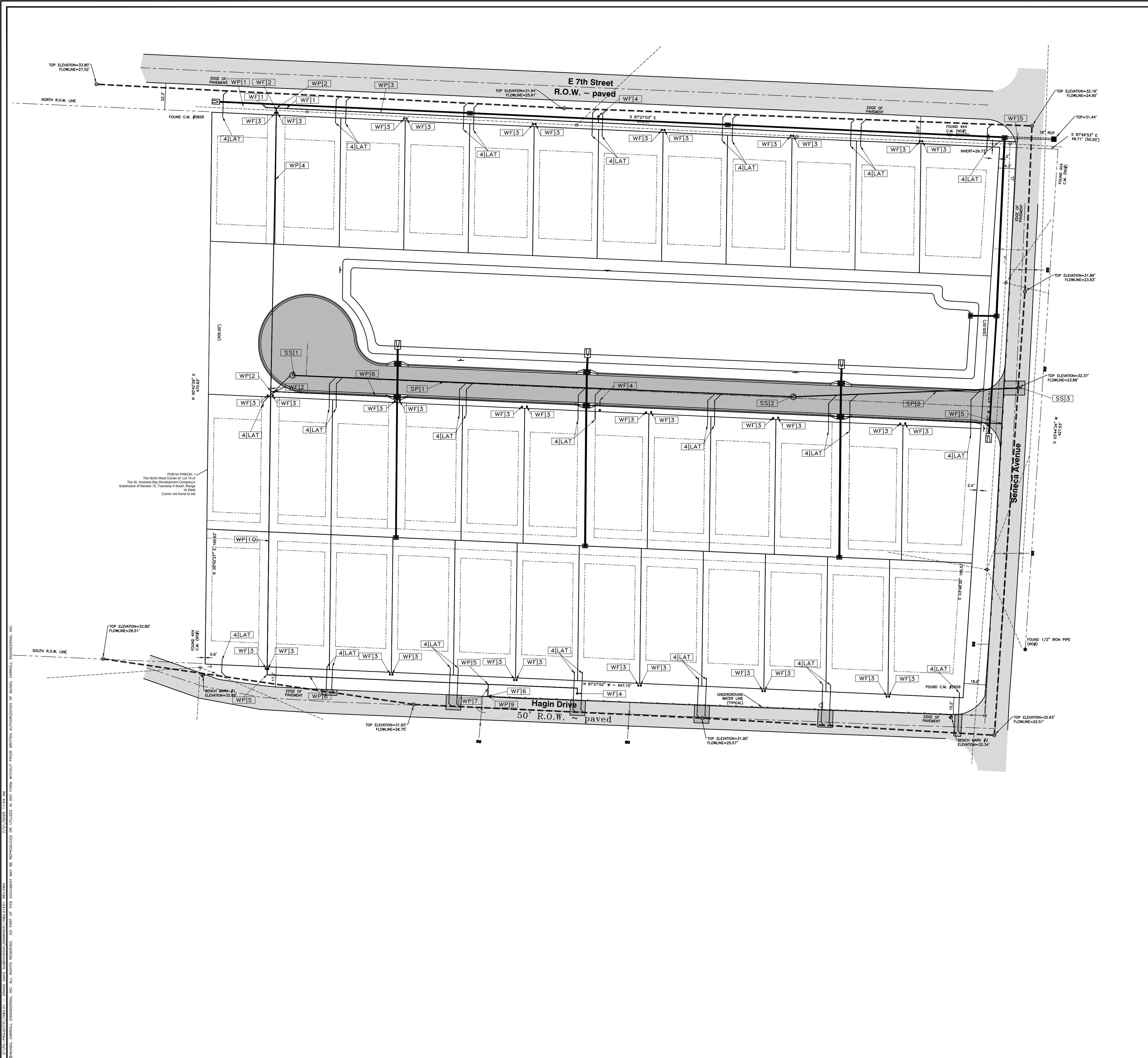
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07/21/25

SHEET NUMBER
4 OF 11

1582.01 - GRAND OAKS SUBDIVISION



- SITE UTILITY DRAWING NOTES:
1. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.
 2. SEE SECTION AND DETAILS IN CONSTRUCTION DETAILS.
 3. ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
 4. CONTRACTOR SHALL PROVIDE McNEIL CARROLL ENGINEERING, INC. FIVE (5) SETS AND ONE (1) DIGITAL COPY (AUTOCAD FORMAT) OF AS-BUILT DRAWINGS OF THE COMPLETED PROJECT. DRAWINGS SHALL BE PREPARED AND SIGNED & SEALED BY A FLORIDA REGISTERED SURVEYOR.
 5. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL SUNSHINE ONE AT 811 FOR UTILITY LOCATES PRIOR TO CONSTRUCTION.
 6. ALL GRAVITY SEWER LINES SHALL BE VIDEO RECORDED AND PLACED ON DIGITAL MEDIA (NO TAPES). VIDEO MUST BE REVIEWED AND APPROVED BY McNEIL CARROLL ENGINEERING, INC.
 7. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SODDED PER FDOT INDEX 105.

- SYMBOL LEGEND
- [N]1 (SEE NOTE IN., #1 - SEE NOTES THIS SHEET)
 - [4]LAT (4" SEWER LATERAL - SEE CONSTRUCTION DETAILS)
 - [SP]16 (SEE GRAVITY SEWER PIPE SCHEDULE THIS SHEET IN., #16 - SEE CONSTRUCTION DETAILS)
 - [SS]12 (SEE SEWER STRUCTURE SCHEDULE THIS SHEET IN., #12 - SEE CONSTRUCTION DETAILS)
 - [WF]14 (SEE WATER FIXTURE SCHEDULE THIS SHEET IN., #14 - SEE CONSTRUCTION DETAILS)
 - [WP]10 (SEE WATER PIPE SCHEDULE THIS SHEET IN., #10 - SEE CONSTRUCTION DETAILS)

WATER MAIN PIPE SCHEDULE			
NO.	SIZE	LF	TYPE
WP1	6"	55	PVC
WP2	8x6	N/A	TEE (QTY. 2)
WP3	6"	618	PVC
WP4	6"	240	PVC
WP5	6"	N/A	ELBOW
WP6	6"	620	PVC
WP7	6"	10	PVC
WP8	6"	200	PVC
WP9	2x6	N/A	REDUCER
WP10	6"	240	PVC

WATER FIXTURE SCHEDULE	
NO.	TYPE
WF1	6" GATE VALVE ASSEMBLY W/ BLIND FLANGE
WF2	6" GATE VALVE ASSEMBLY (QTY. 3)
WF3	3/4" WATER METER ASSEMBLY (QTY. 36)
WF4	FIRE HYDRANT ASSEMBLY (QTY. 3)
WF5	6x6 TAPPING SLEEVE W/ GATE VALVE ASSEMBLY (QTY. 2)
WF6	2x6 TAPPING SLEEVE W/ GATE VALVE ASSEMBLY

SEE CONSTRUCTION DETAILS.
ALL LINES SHALL BE THE COLOR BLUE.

GRAVITY SEWER PIPE SCHEDULE				
NO.	SIZE	LF	TYPE	SLOPE
SP1	8"	424	PVC	0.45%
SP2	8"	180	PVC	0.45%

4-15" SEWER PIPE - ASTM D3034 SDR35
ALL LINES SHALL BE THE COLOR GREEN.

SEWER STRUCTURE SCHEDULE					
NO.	TYPE STRUCTURE	TOP OF M.H.	NORTH INVERT	SOUTH INVERT	EAST INVERT
SS1	4' DIA. STANDARD MANHOLE	EL. 32.45	EL. 28.75	EL. 28.75	EL. 28.75
SS2	4' DIA. STANDARD MANHOLE	EL. 31.90	EL. 26.20	EL. 26.20	EL. 26.20
SS3	EXISTING MANHOLE	EL. 32.37	EL. 23.89	EL. 23.89	EL. 23.89

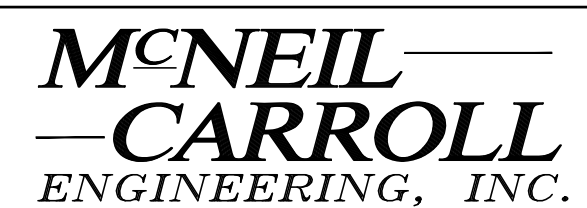
SEE CONSTRUCTION DETAILS.

CITY OF CALLAWAY UTILITY CONTACTS		
UTILITY	CONTACT	
TELEPHONE	SUNSHINE STATE ONE CALL	1-800-432-4770
ELECTRIC	FPL	1-850-872-3212
CABLE TV	COMCAST WOW CABLE	1-850-769-0392 1-850-747-0139
WATER & SEWER	CITY OF CALLAWAY	1-850-871-1033
GAS	TECO PEOPLES GAS	1-850-872-6140
	FLORIDA GAS TRANSMISSION	1-800-432-4770

PERMIT PURPOSES ONLY

UTILITY PLAN
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA

SCALE SHOWN
DESIGNED BY: JFP
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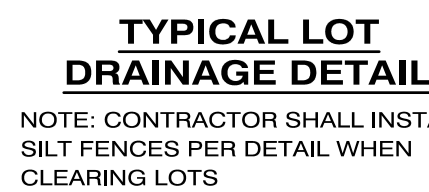
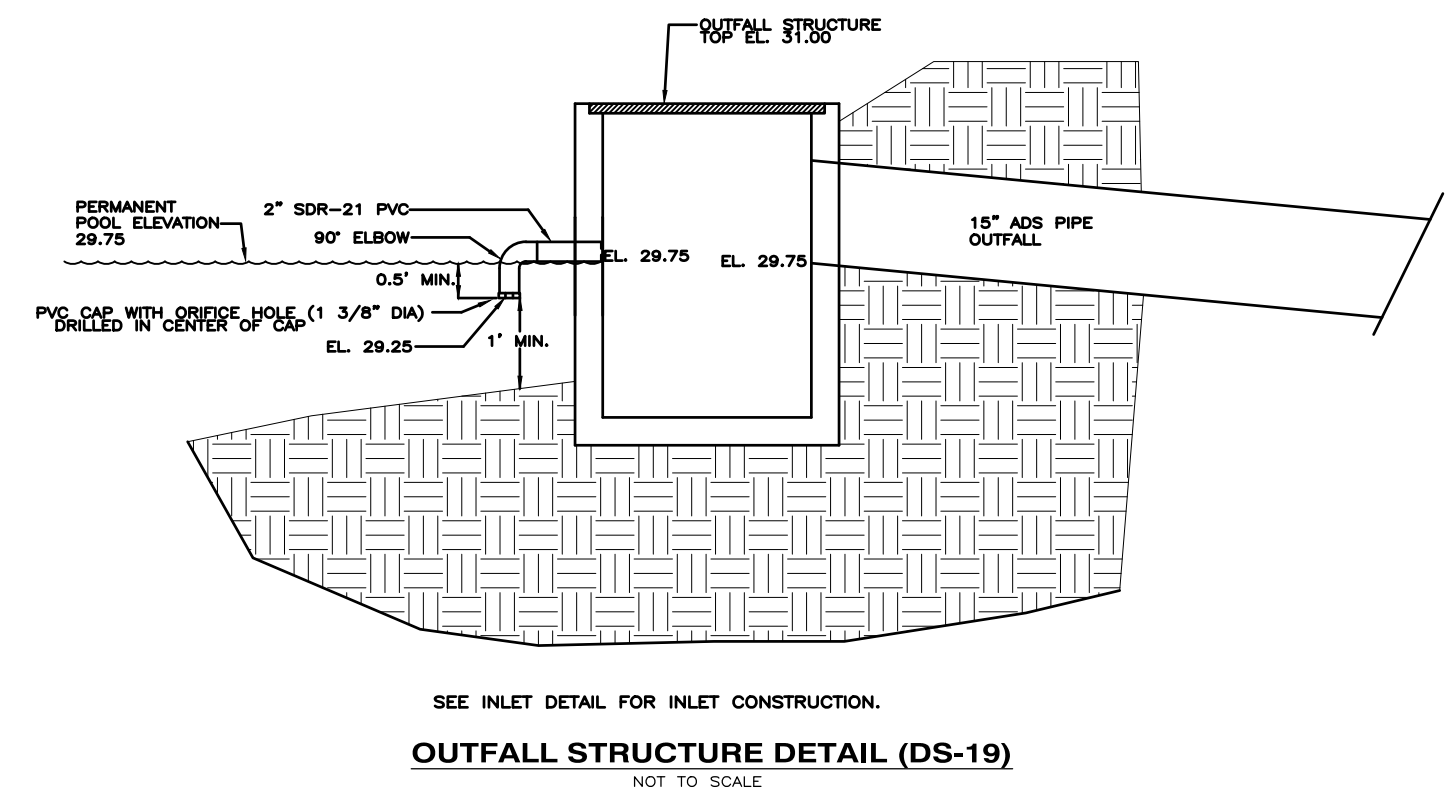
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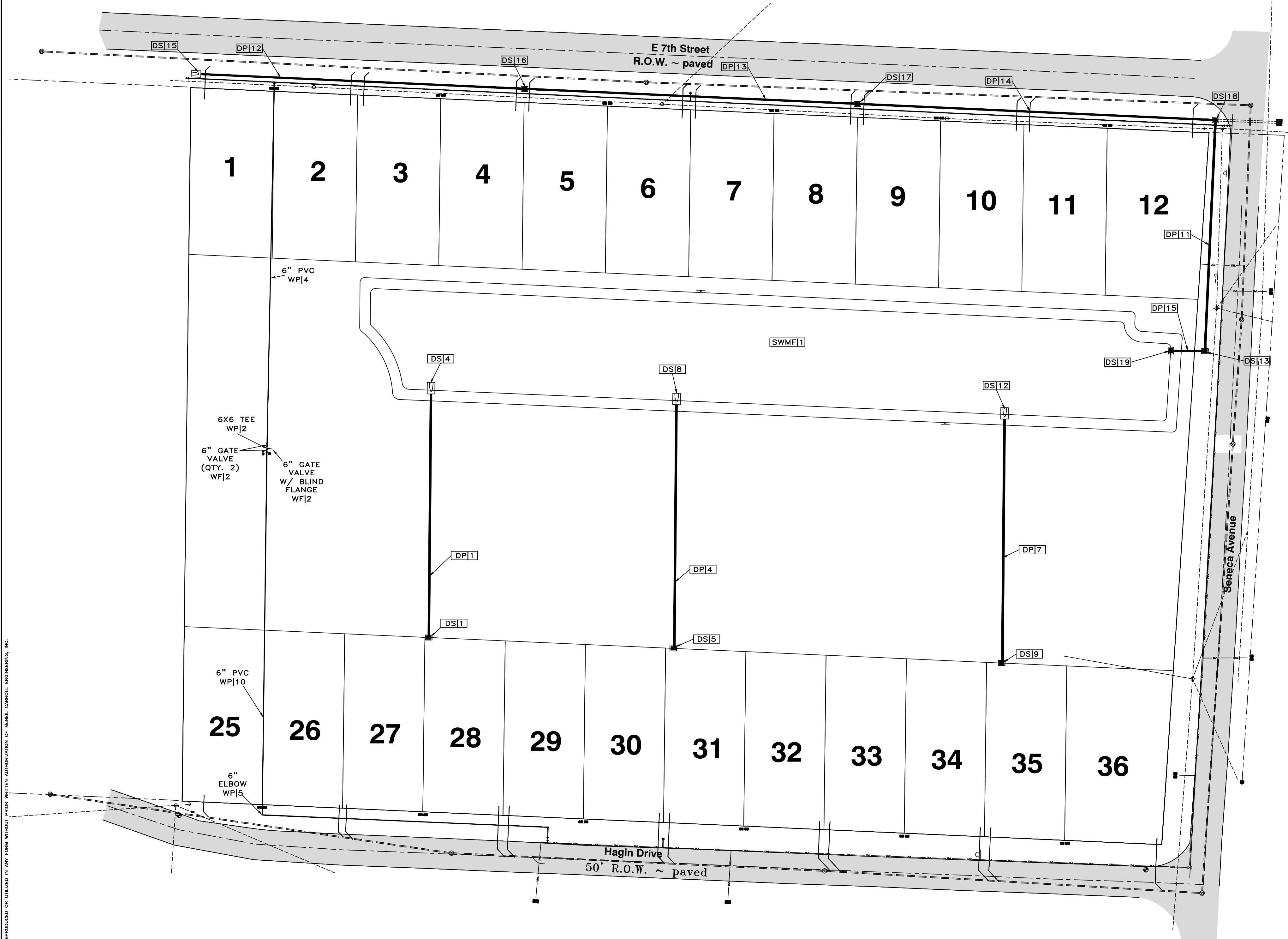
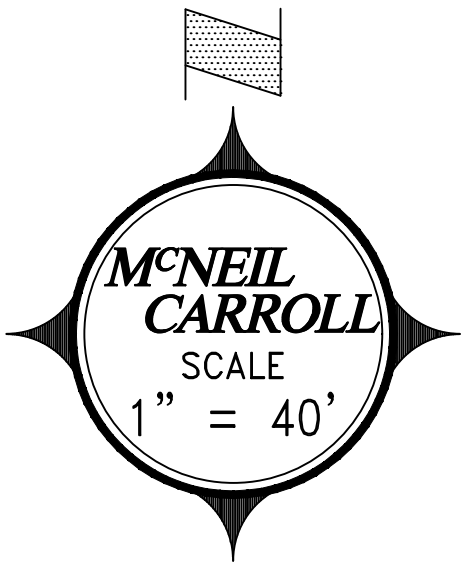
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07/21/25



07/21/25



PHASE 1
DRAINAGE SCHEDULE

DRAINAGE PIPE SCHEDULE				
NO.	SIZE	LF	TYPE	SLOPE
DP1	18"	150	ADS	0.20%
DP2	18"	160	ADS	0.20%
DP7	18"	150	ADS	0.20%
DP11	18"	150	ADS	0.20%
DP12	15"	213	ADS	0.20%
DP13	15"	217	ADS	0.20%
DP14	15"	234	ADS	0.20%
DP15	15"	70	ADS	0.00%

ALL ADS PIPE SHALL BE AS SHOWN OR EQUAL
ALL PERFORATED PIPE SHALL HAVE A GRAVEL PACK
ALL ADS PIPE SHALL BE RATED N-12
SEE CONSTRUCTION DETAILS.

DRAINAGE STRUCTURE SCHEDULE				
NO.	TYPE STRUCTURE	TOP OF GRATE	PIPE INVERT	BOTTOM INVERT
DS1	FOOT TYPE C INLET	EL. 31.50	EL. 29.00 N.	EL. 28.00
DS4	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A
DS5	FOOT TYPE C INLET	EL. 31.50	EL. 29.00 N.	EL. 28.00
DS6	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A
DS9	FOOT TYPE C INLET	EL. 31.50	EL. 29.00 N.	EL. 28.00
DS12	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A
DS13	FOOT TYPE C INLET	EL. 31.50	EL. 29.75 N. W. S.	EL. 28.75
DS18	FOOT TYPE C INLET	EL. 32.50	EL. 30.70 E. W.	EL. 29.70
DS17	FOOT TYPE C INLET	EL. 32.50	EL. 30.75 E. W.	EL. 29.75
DS18	FOOT TYPE C INLET	EL. 32.50	EL. 29.75 W. S. & EL. 29.73 E. EXISTING 18" RCP	EL. 28.70
DS19	FOOT TYPE C INLET	EL. 31.00	EL. 29.75 E. & EL. 30.5 (9 PIPES) W. & EL. 29.75 W. EL.	EL. 28.70

SEE CONSTRUCTION DETAILS.
2" SLUMP UNLESS OTHERWISE NOTED.

PERMIT PURPOSES ONLY

PHASE I EXHIBIT
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA

SCALE: SHOWN
DESIGNED BY: JFP
DRAWN BY: JFP
REVIEWED BY: SDM
ISSUE DATE: 7/29/2025
BY: _____
NOT RELEASED FOR CONSTRUCTION
DATE: _____

**McNEIL
CARROLL**
ENGINEERING, INC.

475 Harrison Avenue, Suite 200
Panama City, Florida 32401
850-763-5730

Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

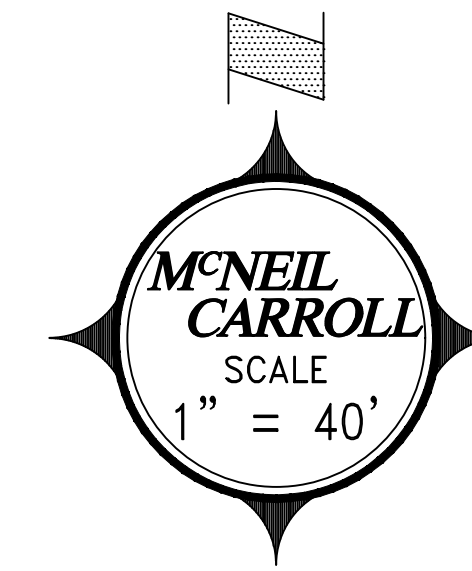
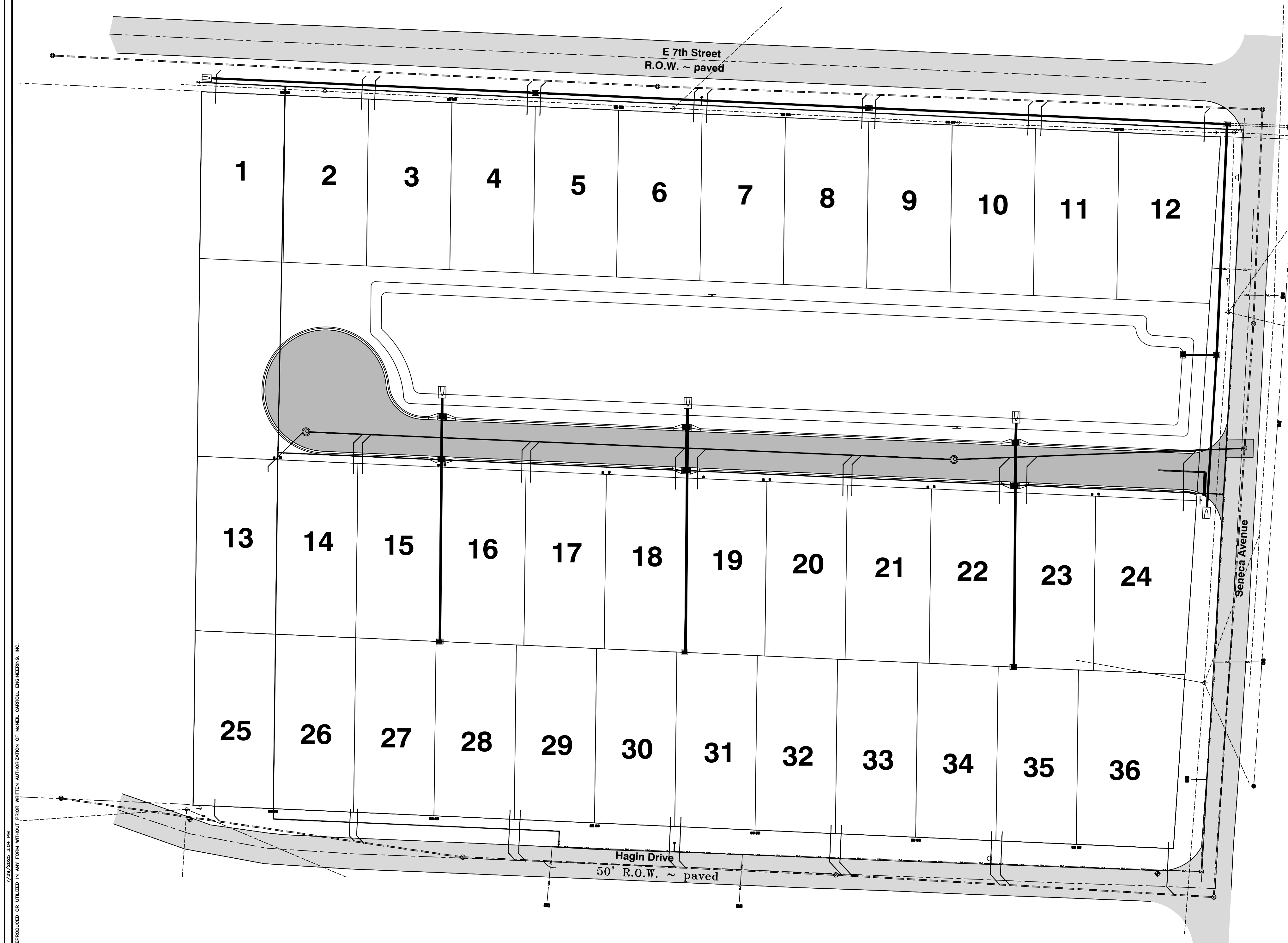
NO.	DATE	BY	REVISIONS
01			
02			
03			
04			
05			

Sean D. McNeil, P.E.
PROFESSIONAL ENGINEER
FL. LC. # 43503

Robert L. Carroll, P.E.
PROFESSIONAL ENGINEER
FL. LC. # 57889

SHEET NUMBER	
1 OF 2	
1582.01 - GRAND OAKS SUBDIVISION	
07/29/25	

1582.01 - GRAND OAKS SUBDIVISION PHASE 2 EXHIBIT
© MCNEIL CARROLL ENGINEERING, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT PERMISSION IN WRITING FROM MCNEIL CARROLL ENGINEERING, INC.
7/29/2025 3:04 PM



PERMIT PURPOSES ONLY

PHASE 2 EXHIBIT
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA

SCALE: SHOWN
DESIGNED BY: JFP
DRAWN BY: JFP
REVIEWED BY: SDM
ISSUE DATE: 7/29/2025
C/S/D: 1582.01E01 Phase Drawing
NOT RELEASED FOR CONSTRUCTION
DATE:

**MCNEIL
CARROLL**
ENGINEERING, INC.
Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

475 Harrison Avenue, Suite 200
Panama City, Florida 32401
850-763-5730

NO.	DATE	BY	REVISIONS
01			
02			
03			
04			
05			

Sean D. McNeil, P.E.
PROFESSIONAL ENGINEER
FL LC # 49503

Robert L. Carroll, P.E.
PROFESSIONAL ENGINEER
FL LC # 57889

07/29/25

1582.01 - GRAND OAKS SUBDIVISION
SHEET NUMBER
2 OF 2

**CITY OF CALLAWAY
PLANNING DEPARTMENT
STAFF SUMMARY**

**SMALL SCALE COMPREHENSIVE PLAN AMENDMENT – REQUEST TO CHANGE THE
FUTURE LAND USE MAP FOR THE PROPERTY AT 1023 PRIMROSE STREET**

Date: August 5, 2025

Applicant: Rodrick Trail, Krystals Kreations, LLC

Property owner: Rodrick Trail, Krystals Kreations, LLC

Location: 1023 Primrose Street, Parcel ID# 07384-277-000

**Current Future
Land Use:** Undesignated

**Proposed Future
Land Use:** Commercial

**Adjacent Future
Land Uses:** North – Low Density Residential
South – Undesignated
East – Undesignated
West – Undesignated

Background:

Rodrick Trail of Krystals Kreations, LLC has submitted to the City of Callaway an Application for a Small Scale Comprehensive Plan Amendment to change the Callaway Future Land Use Map. The property currently has a Future Land Use Designation of undesignated. The applicant is requesting that the City of Callaway amend the Future Land Use Map to provide the property with a Commercial.

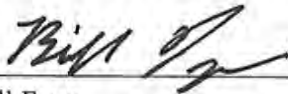
Staff Findings:

The subject property is approximately 2.718 acres. (see attached map).

The Planning Department has reviewed the proposed Small Scale Plan Amendment for consistency with the Callaway Comprehensive Plan and has performed a capacity analysis of future facilities and services. The proposed plan amendment was found to be consistent with the pertinent elements of the Comprehensive Plan.

Staff Recommendation:

Staff recommends that the Planning Board transmit a recommendation of approval to the City Commission to amend the Callaway Future Land Use Map to designate the property to Commercial.



Bill Frye

Director of Public Works & Planning

Enclosures: Application for Small Scale Comprehensive Plan Amendment
 Vicinity Map
 Future Land Use Map of area



Planning Department
324 S Berthe Avenue, Callaway, FL 32404
Phone (850) 871-1033
www.callaway.com



SMALL SCALE COMPREHENSIVE PLAN AMENDMENT
APPLICATION

Application fee: \$1,100

(Plus, hourly attorney and engineering fees reimbursed as billed)

NOTE: The subject property must be under 50 acres in size to qualify as a Small-Scale Plan Amendment.

A. APPLICANT INFORMATION

1. Owner's name: Rodrick Trail, Krystals Kreations, LLC
2. Mailing address: 11711 Poston Rd Panama city, FL 32404
3. Phone: 478 320-2083 Fax: _____ Email: turbo50stang@yahoo.com
4. Authorized agent name: Self
5. Mailing address: SAME AS ABOVE
6. Phone: _____ Fax: _____ Email: _____

If the applicant does not own the property, give name, address, and telephone number of owner. (Must attach a notarized statement of consent from the owner) Attach a legal description including a survey if available. Attach a copy of the deed or other instrument documenting legal interest.

- B. Requested amendment: Establish a baseline zoning designation for the current undesignated area for parcel 07384-277-000. The original East Bay site development plan (approved in the early 2000's), listed this area to be designated as a boat storage area and all parcel information still refers to this being a boat storage area to support the community. Current East Bay advertising and entry signage still advertise this as Boat Storage area (Photo Attached)

November 29, 2023

C. PROPERTY INFORMATION

1. Address of site for which amendment is requested:
1023 Primrose ST Panama City
2. Tax ID: 07384 - 277-000
3. Acreage of property: 2.71
4. Existing Tax Classification: _____
5. Proposed Tax Classification: _____

D. SITE INFORMATION

The following information must be provided along with this application:

1. The most recent aerial photograph available from the Property Appraiser's Office. The information required by 2. (a) Through (g) may be shown on the aerial photo in lieu of the required site plan.
2. A site plan or drawing, drawn to a scale deemed acceptable by the Planning Director, which describes or shows the following:
 - a) Location in relation to surrounding physical features such as streets, railroads, water bodies, etc. Names of all adjacent streets and other physical features must be shown.
 - b) North direction arrow.
 - c) Township, Range and Section
 - d) Existing designated use of the site and all adjacent properties, as shown on the Land Use Map.
 - e) Dimensions of the site (length, width, etc.) in linear feet.
 - f) Size of the site in square feet or acres.
 - g) The type of development proposed for the site; the general location of such development of the site, and the size (square feet) of the proposed development.

E.

Justification: Rejuvenate the original East Bay Site Development Plan that included a Boat Storage area and establish the proper zoning classification accordingly. All future planning has included future boat storage area and there's an immediate need for this service in the East Easy community.

F. FACILITY CAPACITY ANALYSIS

Applicant must provide information as to how the site will have access to potable water, sewage disposal, roads, and storm water control.

1. **Transportation** – Comprehensive Plan Amendment Traffic Impact Analysis Guidelines are attached to this application (Please include a transportation impact analysis with application)

2. **Potable Water Source -**

Private water wells:

N/A

Private community system provider:

Public water system provider:

3. **Sewage Disposal Source -**

Private septic tanks:

N/A

Private sewage system provider:

Public sewage system provider:

4.

Storm water control: Total parcel size is approximately 117,885 Sq ft. that consists of vegetation and trees. The proposed site will have a maximum impervious surface area of 4,500 square feet. Open Boat Storage will not impact current storm water drainage or treatment requirements for this parcel. However, a 11,500 sq ft retention pond currently exists on the property for future use if required.

G. CERTIFICATION AND AUTHORIZATION

By my signature hereto, I do hereby certify that the information contained in this application is true and correct and understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application.

I do hereby authorize the City of Callaway staff to enter upon my property at any reasonable time for purposes of site inspection.

I do hereby authorize the placement of a public notice sign on my property at locations to be determined by City staff.

Redback Trail
Applicant's name (please print)

[Signature]
Applicant's signature

Krystals Kreations, LLC
Company name

STATE OF FLORIDA
COUNTY OF BAY

Sworn to and subscribed before me this _____ day of _____ 20____, by _____, who is personally known to me or who has produced _____ as identification and who did/did not take an oath.

NOTARY PUBLIC: _____
PRINT NAME: _____
MY COMMISSION EXPIRES _____

November 29, 2023

Jul 22, 2025

City of Callaway
Director of Public Works and Planning
324 S. Berthe Avenue
Callaway, FL 32404
Attn: Mr. Bill Frye

From: Rodrick Trail, 11711 Poston Rd, PC, FL 32404

RE: Intended use and purpose of Rezoning Parcel # 07384-277-000 (1023 Primrose St.)

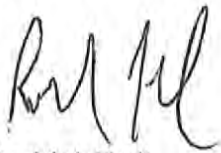
Our family is currently downsizing from our current home and relocating to 11711 Poston Rd in the East Bay community. During this period, I also purchased Parcel # 07384-277-000 in conjunction with our home located directly across the street. Since East Bay community has limited parking and yard areas, I needed extra space to support my Antique Hobby shop space requirements. In addition, this parcel has long-term plans to be a Boat Storage area to support storage requirements for Easy Bay residents.

Prior to purchasing this Boat Storage Parcel, I inquired with the Public Works and Planning Department and was informed that Rezoning would be required before commencement of any storage activities

The plan is to construct a metal building approximately 3600 sq ft (Approximately 4500 sq ft total impervious area) for my antique hobby shop and operate a secure boat storage area to support our Sunrise at East Bay community residents.

I am unsure on which Zoning designation to apply for and will need your offices guidance. Appears my plan could possibly fall within Section 15.550 Community Commercial paragraphs(b) (2) Antique Shop, (b) (4) Auto Accessory, or (B) (20) Hobby Shop and this is with focus on the Antique Auto Hobby structure. From the Boat Storage prospective, Section 15.555 Service Commercial paragraph (b) (19), "Other Uses, which in the opinion of the Director of Planning, are of a similar and compatible nature to those permitted uses described herein" may be a zoning option.

If you need additional information or have any questions, please give me a call. Thank you for your attention on this matter.



Rodrick Trail

478-320-2083, email: turbo50stang@yahoo.com

NAL TALCOR



EAST BAY

+/- 2.72 Acre RV/Boat
Storage Site

+/- 6 Acre Waterfront
Marina Site

Phase I
+/- 18.14 Acres
139 Developed Lots

Phase II
+/- 60.14 Acres
180 Undeveloped Lots

BRENT FAISON | 850 814 4490
WENDY PARTIE | 601 405 9820

Attachment for Para B

NOTICE OF PLANNING BOARD HEARING

The City of Callaway Planning Board will hold a public hearing on Tuesday, August 5, 2025, at 6:00 P.M., at the Callaway Arts and Conference Center, 500 Callaway Park Way, Callaway, Florida, to consider the following items:

1. General Information: Zoning & Future Land Use Designation
Property owner/applicant's name: Rodrick Trail, Krystals Kreations, LLC
Property location: 1023 Primrose Street
Parcel ID: # 07384-277-000
Property Size: Approx. 2.718 Total Acres

All interested persons are invited to attend and to present information or be heard for the Board's consideration. Further information may be obtained from the Planning Department by calling 871-1033. The public is invited to review the item at the City Clerk's office at the Callaway City Hall, 6601 East Highway 22, Callaway, Florida, between the hours of 8 a.m. and 5 p.m. Monday through Friday prior to the meeting. Anyone not appearing in person may submit written comments to the Planning Department at the above address.

If a person decides to appeal any decision made by the Planning Board with respect to any matter considered at the meeting, if an appeal is available, such person will need a record of the proceeding, and such person may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Callaway City Clerk, at City Hall, 6601 East Highway 22, Callaway, Florida 32404 or by phone at (850) 215-6694 prior to the meeting. If you are hearing or speech impaired, and you possess TDD equipment, you may contact the City Clerk using the Florida Dual Party Relay system, which can be reached at (800) 955-8770 (Voice) or (800) 955-8771 (TDD).

ALL INTERESTED PERSONS desiring to be heard on the aforementioned applications are invited to be present at the meeting.

Zoning & Future Land Use Designation



**CITY OF CALLAWAY
PLANNING DEPARTMENT
STAFF SUMMARY**

REZONING APPLICATION – 1023 PRIMROSE STREET

Date: August 5, 2025

Applicant: Rodrick Trail, Krystals Kreations, LLC

Location of Subject Property: 1023 Primrose Street, Parcel ID# 07384-277-000

Background:

Rodrick Trail of Krystals Kreations, LLC has submitted to the City of Callaway a Rezoning Application for property located at 1023 Primrose Street. The property is approximately 2.718 acres.

Proposed Property Zoning Change:

From it's current zoning of: Undesignated

To: Community Commercial

Findings:

Planning staff has analyzed the proposed rezoning and finds that all of the information given is true and accurate to the best of its knowledge.

Staff Recommendation:

Staff recommends that the Planning Board approve the Rezoning Application and convey a recommendation of approval to the City Commission.



Bill Frye
Director of Public Works & Planning

Enclosures: Rezoning Application
Deed
Vicinity Map



Public Works Department
324 S Berthe Avenue, Callaway, FL 32404
Phone (850) 871-1033
www.cityofcallaway.com

APPLICATION FOR REZONING

1. Applicant(s) name: Rodrick Trail
Applicant(s) address: 11711 Poston Rd Panama City, FL 32404
Applicant(s) phone: 478-320-2083 Email: turbo50stang@yahoo.com
Date of application: Jul 22, 2025
2. Rezone from: Undesignated to: _____
3. Parcel ID #: 07384-277-000
4. Legal Description of site to be rezoned: East Bay Phase 1 A 163C Boat Storage
5. Driving directions to site: Hwy 22 to 2297; 2297 to Poston Rd ;
Poston Rd to Primrose St on left
6. Name and address of property owner(s) according to most recent ad valorem-tax records:
(Year 2024) Rodrick Trail, Krystals Kitchens, LLC
old 542 Mills Ln - New 11711 Poston Rd Panama City FL 32404
7. If applicant does not own the property, give name(s), address(s) and telephone number(s) of the owner(s). (Must attach statement of consent form): owns

8. Property address to be rezoned:

1023 Primrose St Panama City, FL 32404
(Address must be obtained from County prior to Planning Board Meeting)

9. Present Property Tax Classification: _____

10. Proposed Property Tax Classification: _____

11. Purpose of rezoning: Establish baseline zoning for previously
planned Boat Storage area

12. Additional pertinent information: Boat Storage area has been
planned since the early 2000's.

Signature of applicant(s): Roll 122 Date: Jul 22, 2025

Date: _____

To be submitted with application:

Incomplete submittals will not be reviewed

- a) 3 copies of the deed to the property.
- b) 3 copies of a survey of the property.
- c) A copy of the most recent Ad Valorem tax statement.
- d) A check for \$300. If the Zoning Application is submitted with a Petition for Annexation, the fee is \$500 for both.

(Do Not Write Below This Line)

Planning Board Action Date _____	City Commission Action Date _____
Restrictions or Special Conditions: _____	
Rezone: From _____	To _____
Received _____	Fee Paid _____ Reviewed by _____

This instrument prepared
by: Douglas Moore
The Panhandle Group, LLC
Post Office 19
Panama City, FL 32402-0019
File # 24.09.243

WARRANTY DEED

THIS WARRANTY DEED, executed on this 4th of October, 2024, by and between:

Tranquility East Bay, LLC, a Missouri limited liability company, whose mailing address is 848 Dielman Road, St. Louis, MO 63132 (the "Grantors"), and;

Krystals Kreations, LLC whose mailing address is 542 Mills Lane, Panama City, FL 32404 (the "Grantees").

The land described herein is not the homestead of the Grantors, and neither the Grantors nor the Grantors spouse, nor anyone for whose support the Grantors is responsible, resides on or adjacent to said land.

WITNESSETH, that said Grantors, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said Grantees and Grantees' successors and assigns forever, the following described real property (the "Property") lying and being in Bay County, Florida, to-wit:

Boat Storage, EASTBAY PHASE 1A, according to the Plat thereof as recorded in Plat Book 22, Page(s) 60-66, of the Public Records of Bay County, Florida.

PIN: 07384-277-000

Subject to: Taxes for the year 2024 and subsequent; and all covenants, restrictions and easements of record, if any and said Grantors do hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.


Initial

Initial

IN WITNESS WHEREOF, the Grantor has hereunto set their hands and seals on the day and year first above written.

Signed, sealed and delivered in our presence:

Tranquility East Bay, LLC
A Missouri limited liability company

[Signature] (Sign)

[Signature] (Sign)

Witness #1: Sam A. Campbell (Print)

Michael J. Goellner, Trustee of the
Michael J. Goellner Revocable Trust dated
June 6, 2013, as sole member

Witness Address: 9506 Olive

Blvd, St. Louis MO 63132

[Signature] (Sign)

Witness #2: Summer Patrick (Print)

Witness Address: 9506 Olive

Blvd, St. Louis MO 63132

STATE OF MISSOURI

COUNTY OF St. Louis

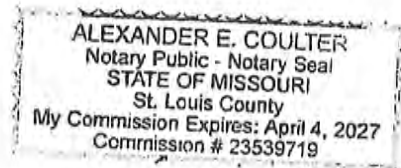
The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization, this 2nd day of October, 2024, Michael J. Goellner, Trustee of the Michael J. Goellner Revocable Trust dated June 6, 2013, as member of Tranquility East Bay, LLC. Who is ☐ personally known to me or ☒ has produced driver license as identification.

Witness by hand and official seal.

[Signature]

Notary Public:

My Commission Expires: 04/04/2027



[Initials]
Initial

Initial

CHUCK PERDUE
TAX COLLECTOR
BAY COUNTY, FLORIDA

2024 Paid Real Estate

Notice of Ad Valorem Tax and Non-Ad Valorem Assessments for Bay County, FL

P.O. Box 2285, Panama City, FL 32402

Pay Online: www.baycountytfltax.gov

KRYSTALS KREATIONS LLC
542 MILLS LN
PANAMA CITY, FL 32404

Parcel Account Number: 07384-277-000

Assessed Value: 3,261

Millage Code: 2

Bill Number: 237350

Exemptions:

Legal Description:

EAST BAY PHASE 1A 163C

BOAT STORAGE (2.718 AC)

ORB 3740 P 631

Site Address: 23 45 13W,
PANAMA CITY,

2024 AD VALOREM TAXES

Taxing Authority	Telephone	Assessed Value	Exempt Value	Taxable Value	Millage	Tax Levied
COUNTY	(850)248-8240	3,261	0	3,261	5.4362	17.73
SCHOOL RLE	(850)767-4138	3,261	0	3,261	3.0630	9.99
SCHOOL DISC	(850)767-4138	3,261	0	3,261	2.2480	7.33
CALLAWAY	(850)871-6000	3,261	0	3,261	2.7500	8.97
NW FL WATER MGT	(850)539-5999	3,261	0	3,261	0.0218	0.07
CO MOSQUITO	(850)248-8240	3,261	0	3,261	0.2000	0.65

Total Millage: 13.7190

Subtotal: \$44.74

2024 NON-AD VALOREM TAXES

Levying Authority	Telephone	Assessment Rate	Tax Levied
			Subtotal: \$0.00

Pay Online and Print your Receipt at BayTaxCollector.com

Total of Ad Valorem & Non-ad Valorem Assessments	
2010	1,000,000
2011	1,000,000
2012	1,000,000
2013	1,000,000
2014	1,000,000
2015	1,000,000
2016	1,000,000
2017	1,000,000
2018	1,000,000
2019	1,000,000
2020	1,000,000
2021	1,000,000
2022	1,000,000
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2095	1,000,000
2096	1,000,000
2097	1,000,000
2098	1,000,000
2099	1,000,000
2100	1,000,000

\$44.74

Payments received after March 31st are considered delinquent and cannot be paid using a personal check.

IF YOUR TAXES ARE NOT ESCROWED, PLEASE RETURN THE BOTTOM PORTION WITH YOUR PAYMENT.

CHUCK PERDUE, BAY COUNTY TAX COLLECTOR

Parcel Account Number: 07384-277-000

Site Address: 23 4S 13W,
PANAMA CITY,

Bill Number: 237350

KRYSTALS KREATIONS LLC

542 MILLS LN

PANAMA CITY, FL 32404

PLEASE SEE OTHER SIDE FOR
IMPORTANT INFORMATION

Payments in U.S. funds from a U.S. Bank

PAY ONLY ONE AMOUNT

☐	Nov 30, 2024 \$42.95
☐	
☐	
☐	
☐	

PAY ONLINE

www.baycountytax.gov

1+07384277000+2024

Paid

Michael Goellner

11/20/2024 Receipt # INT-25-00057843

Credit card

\$42.95

NOTICE OF PLANNING BOARD HEARING

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1. General Information: Zoning & Future Land Use Designation
Property owner/applicant's name: Rodrick Trail, Krystals Kreations, LLC
Property location: 1023 Primrose Street
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Property Size: Approx. 2.718 Total Acres

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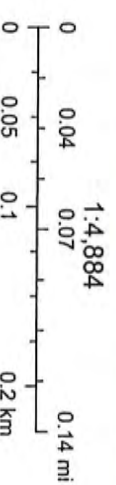
ALL INTERESTED PERSONS desiring to be heard on the aforementioned applications are invited to be present at the meeting.

Zoning & Future Land Use Designation



7/25/2025, 11:49:31 AM

Parcels



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

**CITY OF CALLAWAY
PLANNING DEPARTMENT
STAFF SUMMARY**

**SMALL SCALE COMPREHENSIVE PLAN AMENDMENT – REQUEST TO CHANGE THE
FUTURE LAND USE MAP FOR THE PROPERTY AT ANITA DRIVE & DOUGLAS STREET**

Date: August 5, 2025

Applicant: F & P Capital Properties, LLC

Property owner: F & P Capital Properties, LLC

Location: Northwest corner of Anita Drive & Douglas Street
Parcel ID# 06258-010-000

**Current Future
Land Use:** High Density Residential

**Proposed Future
Land Use:** Commercial

**Adjacent Future
Land Uses:** North – Commercial
South – Commercial
East – Low Density Residential
West – Commercial

Background:

On behalf of F & P Capital Properties, LLC, Robert Carrol, PE of McNeil Carrol Engineering has submitted to the City of Callaway an Application for a Small Scale Comprehensive Plan Amendment to change the Callaway Future Land Use Map. The property currently has a Future Land Use Designation of High Density Residential. The applicant is requesting that the City of Callaway amend the Future Land Use Map to provide the property with a Commercial designation.

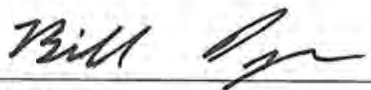
Staff Findings:

The subject property is approximately 1.065 acres. (see attached map).

The Planning Department has reviewed the proposed Small Scale Plan Amendment for consistency with the Callaway Comprehensive Plan and has performed a capacity analysis of future facilities and services. The proposed plan amendment was found to be consistent with the pertinent elements of the Comprehensive Plan.

Staff Recommendation:

Staff recommends that the Planning Board transmit a recommendation of approval to the City Commission to amend the Callaway Future Land Use Map to designate the property to Commercial.



Bill Frye
Director of Public Works & Planning

Enclosures: Application for Small Scale Comprehensive Plan Amendment
 Vicinity Map
 Future Land Use Map of area



Planning Department
324 S Berthe Avenue, Callaway, FL 32404
Phone (850) 871-1033
www.callaway.com

SMALL SCALE COMPREHENSIVE PLAN AMENDMENT APPLICATION

Application fee: \$1,100
(Plus, hourly attorney and engineering fees reimbursed as billed)

NOTE: The subject property must be under 50 acres in size to qualify as a Small-Scale Plan Amendment.

A. APPLICANT INFORMATION

1. Owner's name: F&P Capital Properties, LLC
2. Mailing address: 110 Bluejack Street
3. Phone: 770-317-1372 Fax: _____ Email: _____
4. Authorized agent name: McNeil Carroll Engineering, Inc.
5. Mailing address: 17800 PCB Parkway, PCB, FL 32413
6. Phone: 850-234-1730 Fax: _____ Email: _____

If the applicant does not own the property, give name, address, and telephone number of owner. (Must attach a notarized statement of consent from the owner) Attach a legal description including a survey if available. Attach a copy of the deed or other instrument documenting legal interest.

B. REQUESTED AMENDMENT

Change from multi family residential (MFHD) use to commercial (COM-1)

November 29, 2023

C. PROPERTY INFORMATION

1. Address of site for which amendment is requested:

N. Anita Drive

2. Tax ID: 06258-010-000

3. Acreage of property: 1.07

4. Existing Tax Classification: Residential (MFHD)

5. Proposed Tax Classification: Commercial (COM-1)

D. SITE INFORMATION

The following information must be provided along with this application:

1. The most recent aerial photograph available from the Property Appraiser's Office. The information required by 2. (a) Through (g) may be shown on the aerial photo in lieu of the required site plan.
2. A site plan or drawing, drawn to a scale deemed acceptable by the Planning Director, which describes or shows the following:
 - a) Location in relation to surrounding physical features such as streets, railroads, water bodies, etc. Names of all adjacent streets and other physical features must be shown.
 - b) North direction arrow.
 - c) Township, Range and Section
 - d) Existing designated use of the site and all adjacent properties, as shown on the Land Use Map.
 - e) Dimensions of the site (length, width, etc.) in linear feet.
 - f) Size of the site in square feet or acres.
 - g) The type of development proposed for the site; the general location of such development of the site, and the size (square feet) of the proposed development.

E. JUSTIFICATION

Explain the circumstances that give rise to the need for the amendment, including an explanation of why a similar piece of property already designated for the requested use would not be suitable.

The reason for requesting this amendment is to allow for future commercial development. The property was previously zoned commercial in 2022, until in 2023 the land use was amended to residential. There is existing commercial adjacent to the subject property.

F. FACILITY CAPACITY ANALYSIS

Applicant must provide information as to how the site will have access to potable water, sewage disposal, roads, and storm water control.

1. **Transportation** – Comprehensive Plan Amendment Traffic Impact Analysis Guidelines are attached to this application (Please include a transportation impact analysis with application)

2. **Potable Water Source -**

Private water wells:

Private community system provider:

Public water system provider:

City of Callaway

3. **Sewage Disposal Source -**

Private septic tanks:

Private sewage system provider:

Public sewage system provider:

City of Callaway

4. **Storm water control**

Describe how the storm water will be controlled and treated:

On-site wet detention facility

Attach additional pages if necessary.

G. CERTIFICATION AND AUTHORIZATION

By my signature hereto, I do hereby certify that the information contained in this application is true and correct and understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application.

I do hereby authorize the City of Callaway staff to enter upon my property at any reasonable time for purposes of site inspection.

I do hereby authorize the placement of a public notice sign on my property at locations to be determined by City staff.

Matthew W. Fancher

Applicant's name (please print)

Matthew Fancher
Applicant's signature

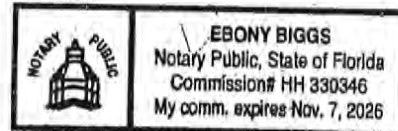
F&P Capital Properties, LLC

Company name

STATE OF FLORIDA
COUNTY OF BAY

Sworn to and subscribed before me this 11th day of July, 2025, by Matthew Fancher, who is personally known to me or who has produced FLDL F211673D143000 as identification and who did/did not take an oath.

NOTARY PUBLIC: *Ebony Biggs*
PRINT NAME: Ebony Biggs
MY COMMISSION EXPIRES 11-7-2026



November 29, 2023



Bay County Property Appraiser - Dan Sowell, CFA

Main Office | 860 W. 11th St, Panama City, FL 32401 | 850-248-8401

Beach Office | 301 Richard Jackson Blvd, Panama City Beach, FL 32407 | 850-248-8470



Overview



Legend

- Parcels
- Roads
- 2022 Improved Sal
- 2022 Vacant Sales

Parcel ID	06258-010-000	Owner	F & P CAPITAL PROPERTIES LLC	Last 2 Sales			
Class Code	VACANT COMMERCIAL		110 BLUEJACK ST	Date	Price	Reason	Qual
Taxing	2		SANTA ROSA BEACH, FL	9/21/2022	\$100	REMOVE CAP	U
District	PANAMA CITY		32459	7/27/2022	\$725000	QUAL/PHY PROP CHGD AFTER Q SALE	
Acres	1.065	Physical Address	TYNDALL PKWY N	MLS			
		Just Value	Value \$308038				

(Note: Not to be used on legal documents)

Date created: 1/31/2023

Last Data Uploaded: 1/31/2023 1:10:24 PM

Developed by Schneider GEOSPATIAL

This instrument prepared without the
benefit of title work by and return to:

Brandon C. Dodd, Esquire
Smith, Gambrell & Russell, LLP
50 N. Laura Street, Suite 2600
Jacksonville, Florida 32202

The following information is provided
pursuant to Section 689.02(2) F.S.:

Property Appraiser's Folio Number:
06258-010-000

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED (this "Deed") is made effective as of the 27th day of September, 2022, between F&P Capital Holdings LLC, a Florida limited liability company ("Grantor"), whose mailing address is 110 Bluejack Street, Santa Rosa Beach, FL 32459, and F&P Capital Properties, LLC, a Florida limited liability company ("Grantee"), whose mailing address is 110 Bluejack Street, Santa Rosa Beach, FL 32459.

WITNESSETH:

That Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other good and valuable considerations to Grantor in hand paid by Grantee, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and sold to Grantee, and Grantee's successors and assigns forever, all of Grantor's interest, in and to the following described property (the "Property") located in Bay County, Florida, to wit:

See Exhibit "A" attached hereto and made a part hereof.

SUBJECT TO taxes and assessments for the year 2022 and subsequent years, and any and all easements, covenants, dedications, limitations, restrictions, and reservations of record, but this reference to such matters is not intended to, and shall not be construed to, reimpose or extend such matters.

TOGETHER WITH, all and singular, the tenements, hereditaments, and appurtenances thereto belonging; and every right, title, or interest, legal or equitable, of Grantor, in and to the same.

TO HAVE AND TO HOLD the same unto Grantee, in fee simple forever.

Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee

THE CONVEYANCE IS A TRANSFER OF UNENCUMBERED REAL PARTY, IS WITHOUT CONSIDERATION, AND THERE HAS BEEN NO CHANGE IN BENEFICIAL OWNERSHIP OF THE CONVEYED REAL PROPERTY. ACCORDINGLY, NO DOCUMENTARY STAMP TAXES ARE DUE, EXCEPT MINIMUM DOCUMENTARY STAMP TAXES AFFIXED HERETO IN THE AMOUNT OF \$.70.

simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against no other; and that said land is free of all encumbrances except as noted herein.

Wherever used herein and wherever the context so admits or requires, the terms Grantor and Grantee shall include the singular and the plural; the heirs, legal representatives, and assigns of individuals, and the successors and assigns of limited liability companies and corporations.

[Signature Pages Follow]

IN WITNESS WHEREOF, Grantor has caused this Deed to be duly executed and delivered in his or her name on the aforesaid date.

WITNESSES:

"Grantor"

F&P CAPITAL HOLDINGS LLC,
a Florida limited liability company

Witness #1: [Signature]
Print Name: Derek Pierce

Witness #2: [Signature]
Print Name: Michelle L. Hahn

[Signature]
Name: Julie Fancher
Title: Member

[Signature]
Name: Bryan Perry
Title: Member

STATE OF FLORIDA
COUNTY OF Walton

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 21 day of September, 2022, by Julie Fancher, as Member of F&P Capital Holdings LLC, who ☐ is personally known to me or ☒ has produced Drivers License as identification.

(Notarial Seal)



TONY RODRIGUEZ
Commission # HH 232789
Expires February 23, 2026

[Signature]
Notary Public, State of Florida
Print Name: Tony Rodriguez
My commission expires: 02/23/2026
My commission number is: HH 232789

STATE OF FLORIDA
COUNTY OF Walton

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 21 day of September, 2022, by Bryan Perry, as Member of F&P Capital Holdings LLC, who ☐ is personally known to me or ☒ has produced Drivers License as identification.

(Notarial Seal)



TONY RODRIGUEZ
Commission # HH 232789
Expires February 23, 2026

[Signature]
Notary Public, State of Florida
Print Name: Tony Rodriguez
My commission expires: 02/23/2026
My commission number is: HH 232789

Exhibit "A"

Legal Description of Property

A PORTION OF LOT 25 OF THE ST. ANDREWS BAY DEVELOPMENT COMPANY'S PLAT OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 13 WEST, AS RECORDED IN PLAT BOOK 5, PAGE 41 OF THE PUBLIC RECORDS OF BAY COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF LOT 25 OF THE ST. ANDREWS BAY DEVELOPMENT COMPANY'S PLAT OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 13 WEST AND PROCEED SOUTH 88 DEGREES 22 MINUTES 36 SECONDS EAST, ALONG THE NORTH BOUNDARY LINE OF SAID LOT 25, FOR A DISTANCE OF 618.08 FEET; THENCE SOUTH 01 DEGREE 23 MINUTES 53 SECONDS WEST, FOR A DISTANCE OF 55.07 FEET TO THE POINT OF BEGINNING; THENCE PROCEED SOUTH 01 DEGREE 23 MINUTES 37 SECONDS WEST, FOR A DISTANCE OF 268.24 FEET; THENCE NORTH 88 DEGREES 48 MINUTES 59 SECONDS WEST, FOR A DISTANCE OF 170.26 FEET; THENCE NORTH 01 DEGREE 37 MINUTES 24 SECONDS EAST, FOR A DISTANCE OF 121.61 FEET; THENCE NORTH 88 DEGREES 22 MINUTES 36 SECONDS WEST, FOR A DISTANCE OF 5.00 FEET; THENCE NORTH 01 DEGREE 37 MINUTES 24 SECONDS EAST, FOR A DISTANCE OF 148.00 FEET; THENCE SOUTH 88 DEGREES 21 MINUTES 22 SECONDS EAST, FOR A DISTANCE OF 174.19 FEET TO THE POINT OF BEGINNING.

NOTICE OF PLANNING BOARD HEARING

The City of Callaway Planning Board will hold a public hearing on Tuesday, August 5, 2025, at 6:00 P.M., at the Callaway Arts and Conference Center, 500 Callaway Park Way, Callaway, Florida, to consider the following items:

1. General Information: Rezoning
Property owner: F&P Capital Properties, LLC
Applicant: Robert Carrol, PE
Property location: Anita Drive & Douglas Street
Parcel ID: # 06258-010-000
Property Size: Approx. 1.065 Total Acres

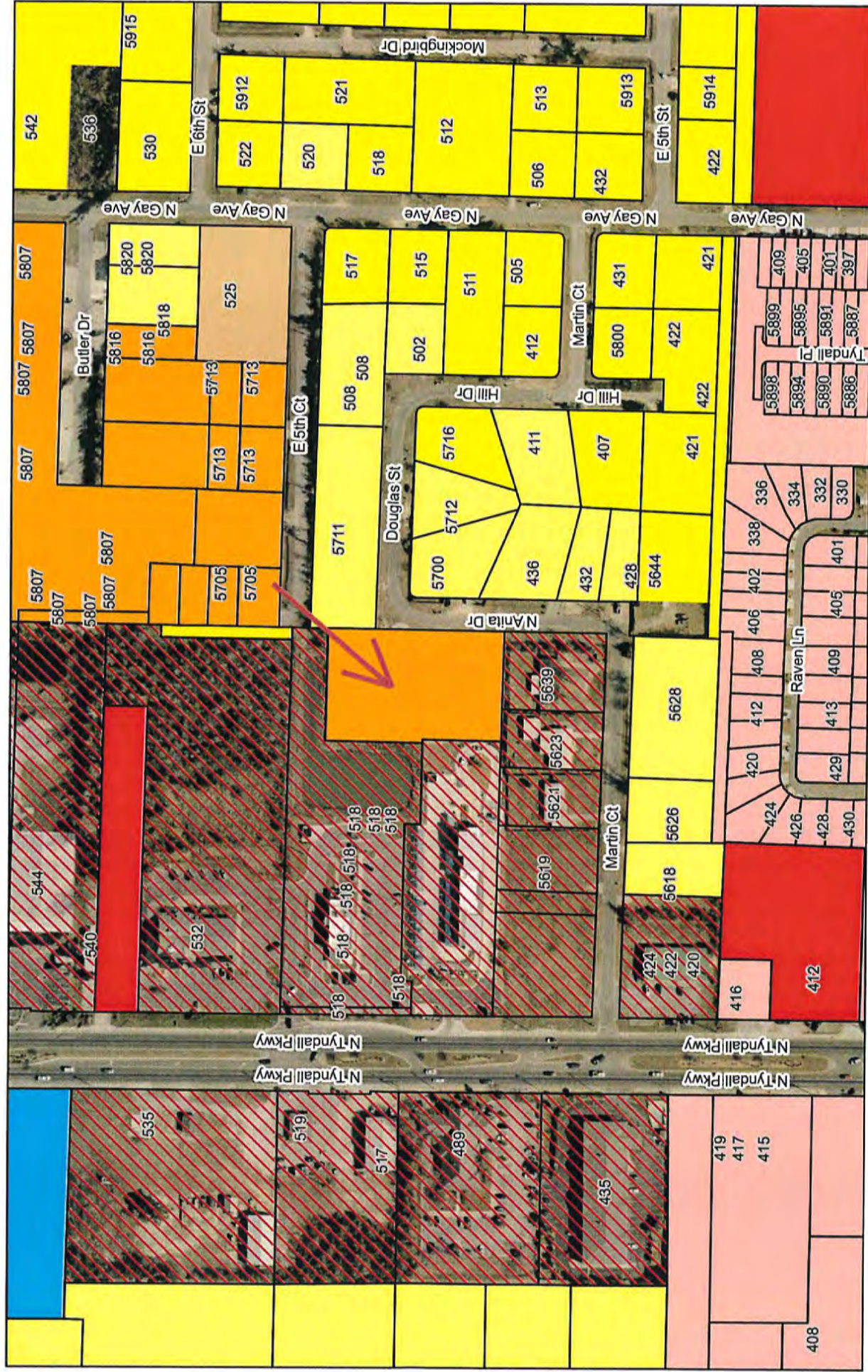
All interested persons are invited to attend and to present information or be heard for the Board's consideration. Further information may be obtained from the Planning Department by calling 871-1033. The public is invited to review the item at the City Clerk's office at the Callaway City Hall, 6601 East Highway 22, Callaway, Florida, between the hours of 8 a.m. and 5 p.m. Monday through Friday prior to the meeting. Anyone not appearing in person may submit written comments to the Planning Department at the above address.

If a person decides to appeal any decision made by the Planning Board with respect to any matter considered at the meeting, if an appeal is available, such person will need a record of the proceeding, and such person may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Callaway City Clerk, at City Hall, 6601 East Highway 22, Callaway, Florida 32404 or by phone at (850) 215-6694 prior to the meeting. If you are hearing or speech impaired, and you possess TDD equipment, you may contact the City Clerk using the Florida Dual Party Relay system, which can be reached at (800) 955-8770 (Voice) or (800) 955-8771 (TDD).

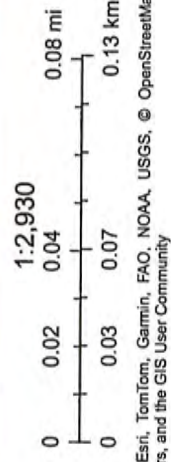
ALL INTERESTED PERSONS desiring to be heard on the aforementioned applications are invited to be present at the meeting.

Future Land Use

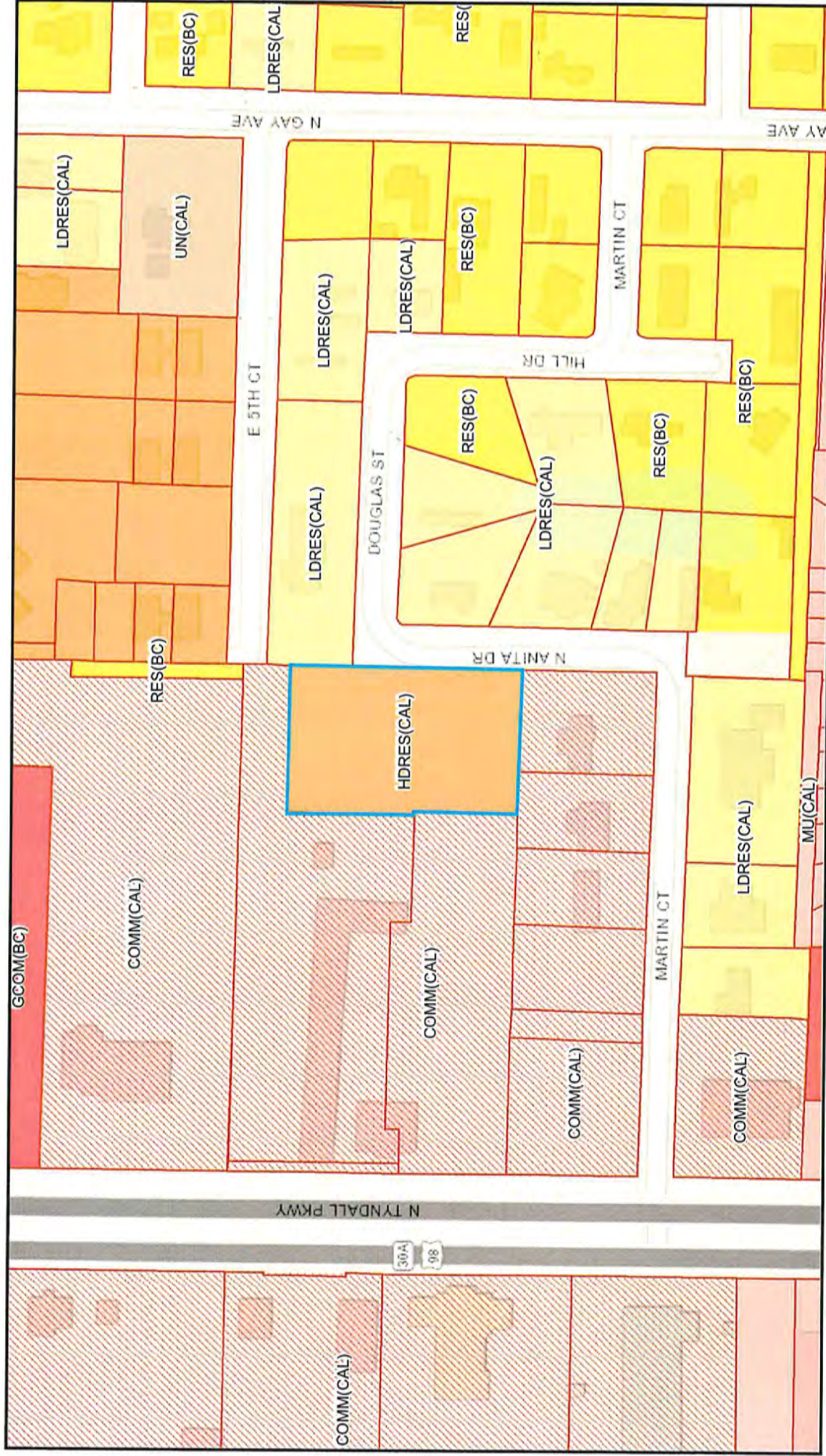


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- Parcels
- High Density Residential
- Low Density Residential
- GCOM General Commercial
- Public Buildings & Facilities
- RES Residential
- Mixed Use
- Commercial
- Undesignated



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community





Future Land Use Map

polylineLayer

- Override 1
- Parcels

futurelanduse

- GCOM General Commercial

- RES Residential
- High Density Residential
- Low Density Residential
- Mixed Use
- Commercial
- Undesignated



maps.baycountyfl.gov

Printed: 7/16/2025

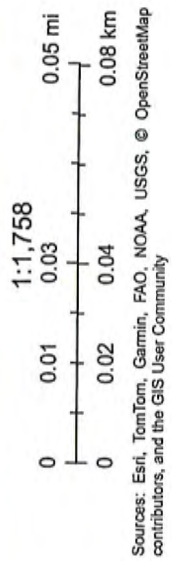
This data is provided with understanding that the conclusions drawn from such information are solely the responsibility of the user. The GIS data is not a legal representation of the features depicted, and any assumption of the legal status of this data is hereby disclaimed.

Rezoning



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Parcels



**CITY OF CALLAWAY
PLANNING DEPARTMENT
STAFF SUMMARY**

REZONING APPLICATION – ANITA DRIVE & DOUGLAS STREET

Date: August 5, 2025

Applicant: F & P Capital Properties, LLC

Location of Subject Property: Northwest corner of Anita Drive & Douglas Street
Parcel ID# 06258-010-000

Background:

On behalf of F & P Capital Properties, LLC, Robert Carrol, PE of McNeil Carrol Engineering has submitted to the City of Callaway a Rezoning Application for property located at Northwest corner of Anita Drive & Douglas Street. The property is approximately 1.065 acres.

Proposed Property Zoning Change:

From it's current zoning of: Multi Family High Density

To: Service Commercial

Findings:

Planning staff has analyzed the proposed rezoning and finds that all of the information given is true and accurate to the best of its knowledge.

Staff Recommendation:

Staff recommends that the Planning Board approve the Rezoning Application and convey a recommendation of approval to the City Commission.



Bill Frye
Director of Public Works & Planning

Enclosures: Rezoning Application
Deed
Vicinity Map



Public Works Department
324 S Berthe Avenue, Callaway, FL 32404
Phone (850) 871-1033
www.cityofcallaway.com

APPLICATION FOR REZONING

1. Applicant(s) name: F&P Capital Properties, LLC
Applicant(s) address: 110 Bluejack Street, Santa Rosa Beach, FL 32459
Applicant(s) phone: 770-317-1372 Email: _____
Date of application: 7/25/2025
2. Rezone from: MFHD to: Service Commercial
3. Parcel ID #: 06258-010-000
4. Legal Description of site to be rezoned: See attached survey
5. Driving directions to site: On Highway 98 drive 1,100 LF north of Highway 22 and turn onto Martin Court. Travel 900 LF and the subject parcel will be located on the west side of Anita Drive.
6. Name and address of property owner(s) according to most recent ad valorem tax records:
(Year 2022) Matthew W. Fancher; F & P Capital Properties, LLC
110 Bluejack Street, Santa Rosa Beach, FL 32459
7. If applicant does not own the property, give name(s), address(s) and telephone number(s) of the owner(s). (Must attach statement of consent form): _____

8. Property address to be rezoned:
N. Anita Drive

(Address must be obtained from County prior to Planning Board Meeting)

9. Present Property Tax Classification: Residential (MFHD)

10. Proposed Property Tax Classification: Commercial

11. Purpose of rezoning: The reason for requesting this amendment is to allow for commercial development.

12. Additional pertinent information: The property was previously zoned commercial in 2022 and was amended in 2023 to residential. There is existing commercial adjacent to the subject property.

Signature of applicant(s):



Date: 25 July 2025

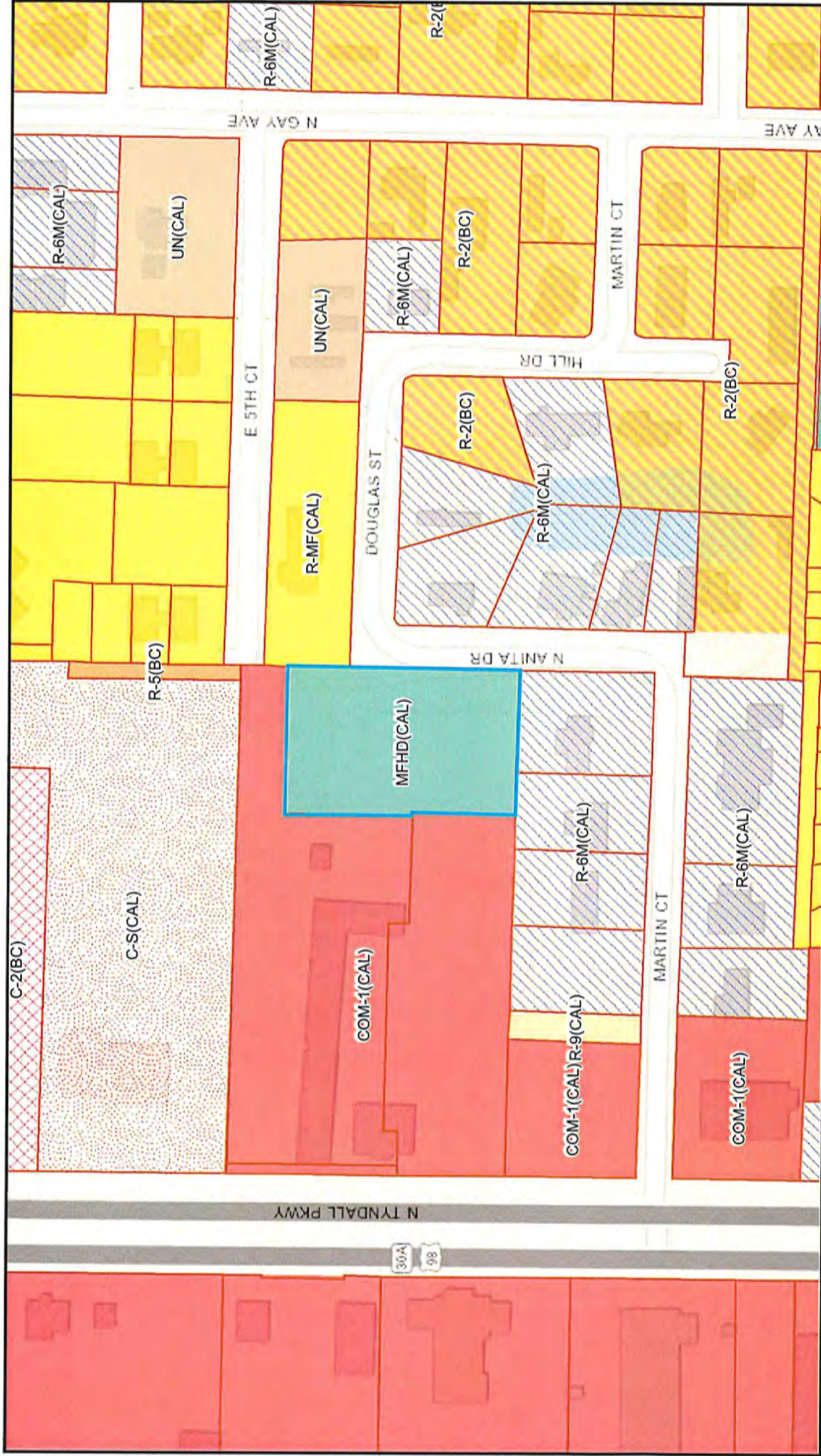
Date: _____

To be submitted with application:
Incomplete submittals will not be reviewed

- a) 3 copies of the deed to the property.
- b) 3 copies of a survey of the property.
- c) A copy of the most recent Ad Valorem tax statement.
- d) A check for \$300. If the Zoning Application is submitted with a Petition for Annexation, the fee is \$500 for both.

(Do Not Write Below This Line)

Planning Board Action Date _____	City Commission Action Date _____
Restrictions or Special Conditions: _____	
Rezone: From _____	To _____
Received _____	Fee Paid _____ Reviewed by _____





polylineLayer

- Override 1

Parcels

zoning

- R-2 Duplex/Manufactured Housing

Zoning Map

 R-5 Multi-Family	 Residential R-9
 C-2 Plaza Commercial	 Residential Multi-Family
 C-3 General Commercial	 Commercial
 Multi-Family High Density	 Service Commercial
 Residential R-6M	 Undesignated



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ALL INTERESTED PERSONS desiring to be heard on the aforementioned applications are invited to be present at the meeting.

Rezoning



7/25/2025, 12:05:18 PM

☐ Parcels

1:1,758

0 0.01 0.03 0.05 mi

0 0.02 0.04 0.08 km

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community