

PLANNING BOARD MEETING

Tuesday, august 05, 2025 - 6:00 P.M. Callaway Arts & Conference Center 500 Callaway Park Way Callaway, FL 32404

BOARD MEMBERS

John Hagan, Chairman
James Dougall, Vice-Chair
Theodore Conte
Spring Overway
Jeffrey Carnahan
Don Hennings
Teresa Langston

AGENDA

- A. CALL TO ORDER (SILENCE PHONES)
- B. INVOCATION & PLEDGE OF ALLEGIANCE
- C. ROLL CALL
- D. APPROVAL OF MINUTES
 - July 15, 2025
- E. NEW BUSINESS PUBLIC HEARING(S)
 - 1. Review of Development Order for Grand Oaks Subdivision Seneca Ave, from 7th St to Hagin Dr. Parcel ID 24379-000-000 & 24380-000-000
 - 2. Small Scale Comprehensive Plan Amendment 1023 Primrose St. Parcel ID 07384-277-000
 - 3. Rezoning Application 1023 Primrose St. Parcel ID 07384-277-000
 - 4. Small Scale Comprehensive Plan Amendment NW Corner of Anita Dr. & Douglas St. Parcel ID 06258-010-000
 - 5. Rezoning Application NW Corner of Anita Dr. & Douglas St. Parcel ID 06258-010-000

If a person decides to appeal any decision made by this board, with respect to any matter considered at the meeting, if an appeal is available, such person will need a record of the proceeding and such person may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Callaway City Clerk, at 6601 E. Highway 22, Callaway, Florida 32404; or by phone at (850)871-6000, at least five calendar days prior to the meeting.

If you are hearing or speech impaired, and you possess TDD equipment, you may contact the City Clerk using the Florida Dual Party Relay System, which can be reached at 1-800-955-8770 (Voice) or 1-800-955-7661 (TDD).

F. ADJOURNMENT

Jay Mitchell for Ashley Robyck, City Clerk

CITY OF CALLAWAY PLANNING BOARD MEETING MINUTES JULY 15, 2025–6:00 P.M.

The Callaway Planning Board met in regular session with John Hagan, Chairman, James Dougall, Vice-Chair, and Board Members, Theodore Conte, Spring Overway, Jeffery Carnahan, & Teresa Langston were present. Board Member Don Hennings was not in attendance. Bill Frye, Public Works/Planning Director, Jay Mitchell, Administrative Support Clerk were also present.

Chairman Hagan called the meeting to order, followed by an invocation and the Pledge of Allegiance.

The roll call was made by the Administrative Support Clerk, Jay Mitchell.

ASC, Jay, welcomed newly appointed Board Member, Teresa Langston

APPROVAL OF MINUTES

April 1, 2025

Motion:

A motion was made by Board Member Carnahan and seconded by Board Member Overway to approve the minutes of April 1, 2025. The motion carried unanimously.

NEW BUSINESS

1. Review of Ordinance #1122 and Resolution 25-12 Restricting Heavy Commercial Vehicles on Certain Residential Roads

Bill Frye, Public Works Director, reviewed Ordinance 1122 and Resolution 25-12

Chairman Hagan states he is aware of some residential roads having this issue, how were the other ones chosen.

Director Frye explained using S. Gay as an example.

Chairman Hagan asks would any additions to this give problems in the future due to growth.

Director Frye states the City Attorney recommends this done via Resolution due to ease of change if needed.

Board Member Carnahan asks who is going to enforce this if passed.

Director Frye states this is a moving violation so the Bay County Sheriff's Department.

Vice-Chair Dougall states Driving Apps could be bringing these drivers down residential routes so it may not be intentional.

Chairman Hagan asks if signs will be posted

Frye states yes, like anything this will be a learning curve.

Chairman Hagan calls for Public Participation:

Deputy Kip Mckenzie with the Bay County Sherifs Dept. asks how many more deputies will the city provide to sit and enforce, and also if doing a chase, residential routes help for getting back onto Tyndall Pkwy.

Also mentions how residents should think of where they move and how close this is to Tyndall Pkwy... If a garbage truck can go down a residential road fully loaded, a truck full of product can go down since garbage trucks do more damage than product to a road.

Motion:

A motion was made by Board Member Conte and seconded by Vice-Chair Dougall to approve the Ordinance 1122 and Resolution 25-12. The motion carried upon 4-2 roll-call vote.

Board Member Overway: <u>Yes</u>
Board Member Conte: <u>Yes</u>
Board Member Langston: <u>Yes</u>
Board Member Carnahan: <u>No</u>
Vice-Chair Dougall: <u>Yes</u>
Chairman Hagan: <u>No</u>

2. Review of Planned Development for Fox Glenn Phase 2 700 Block of N. Ave Fox Ave.

Bill Frye, Director of Public Works reviewed the Planned Development plans.

Chairman Hagan asks if there was a continence between the city and the county a while back has been cleared up

Director Frye states, yes, not an issue

Board Member Overway min is 800 sq ft per house is there an average larger than that

Director Frye explains that is the minimum square footage of the house.

Scott Bolo, engineer representing Insite Land Development FG1, explains the home size and style planned and why.

Carnahan asks about parking for phase 1 and 2 for each house

Scott Bolo states everyone has a driveway, 2 car spots. HOA enforced so no crowded street parking.

Carnahan ask if there is a community parking lot for visitors Bolo – No

Chairman Hagan calls for Public Participation, there was none.

Motion:

A motion was made by Vice-Chair Dougall and seconded by Board Member Conte to approve the Planned Development for Fox Glenn Phase 2. The motion carried unanimously upon roll-call vote.

3. Rezoning Application 1062 N. Tyndall Pkwy. Parcel ID 06018-115-000

Bill Frye, Director of Public Works, reviewed the Rezoning Application.

Langston says the rezoning would allow for a car cleaning place, could it not? Frye states without looking into code, it could.

Langston continues saying the sale of gasoline would still be permitted and describes what they could sell still. Also, mentions this was brought to the Commission and Planning Board August of last year.

Vice-Chair Dougall states this is a rezoning application so whatever they build still must come back to us.

Board Member Conte states maybe we need to better define the zoning terms, so it is not so confusing: Sell gas but no gas station Wash cars but no car wash

Board Member Carnahan asks the intent with the lot.

Doug Crook represents Panhandle Engineering and states they're just trying to zone the entire area the same so they can sell it.

Chairman Hagan calls for Public Participation, there was none.

Motion:

A motion was made by Vice-Chair Dougall and seconded by Board Member Conte to approve the Rezoning Application for 1062 N. Tyndall Pkwy. The motion carried upon a 5-1 roll-call vote, with Board Member Langston being the only No.

ADJOURNMENT There being no further business, the meeting adjourned at 6:35 p.m. Jay Mitchell, Administrative Support Clerk Board Chairman Hagan

CITY OF CALLAWAY PLANNING DEPARTMENT STAFF SUMMARY

Development Order Review of Grand Oaks Subdivision

Date:

August 5, 2025

Applicant / Engineer:

Sean McNeil, PE, McNeil Carrol Engineering

Location of Subject Property:

Seneca Ave, from 7th St. through to Hagin Dr. Parcel ID# 24379-000-000 & 24380-000-000.

Background:

Sean McNeil, P.E. of McNeil Carrol Engineering on behalf of Jerry Steele has submitted a request for a Development Order to construct a subdivision of 36 single family homes.

Findings:

The property is approximately 7.213 acres.

The Callaway Planning Department has reviewed the development order application and finds that all of the information given is true and accurate to the best of its knowledge.

The current zoning of the property is Residential R-6.

The Public Works Department and Fire Department have reviewed the application and plans for the new subdivision and have no outstanding issues or concerns. The Planning Department has found that the plans do meet the requirements of the LDR, Planned Development and Comprehensive Plan.

Staff Recommendation:

Staff recommends that the Planning Board convey a recommendation of approval to the City Commission to allow staff to issue the Development Order to construct the new subdivision in accordance with the plans dated July 23, 2025.

Bill Frye

Director of Public Works & Planning

Enclosures:

DO Application

Engineered plans dated July 23, 2025

Vicinity Map

Date Received:	



Planning Department 324 S. Berthe Ave, Callaway, FL 32404 Phone (850) 871-1033 www.cityofcallaway.com

SUBDIVISION OR MULTI-FAMILY DEVELOPMENT ORDER APPLICATION

A.	APPLICANT INFORMATION (Please print or type)
1.	Name of applicant: Thomas Steele; Panhandle Construction Services Group, LLC
2.	The applicant is the: A) Property Owner_Yes_ or B) Authorized Agent (If the applicant is an agent, attach a signed statement from the property owner granting permission for the agent to obtain any necessary permits)
3.	Applicant address: P.O. Box 611413
4.	Rosemary Beach, Florida 32461 Applicant telephone: (850) 348-8401 Email:
5.	Name of project contact: Sean McNeil; McNeil Carroll Engineering, Inc.
6.	Project contact address: 475 Harrison Avenue, Suite 200
	Panama City, Florida 32401
7.	Contact telephone: (850) 763-5730 Email: smcneil@mcneilcarroll.com
8.	Name of person or firm the Development Order is to be issued to (If not same as the applicant):
	Address of recipient:
9.	Review fee amount (Please attach check made payable to City of Callaway)
	Development Order Review \$500.00* \$_500.00
	 Deviation from Site Plan \$500.00*
	* Plus, Engineering and Attorney review fees reimbursed as billed. (For a deviation from site plan, please attach a narrative citing approved development order detailing all proposed changes from approved development order)

B. PROJECT INFORMATION

1.	Project name: Grand Oaks Subdivision
2.	
3.	Number of units (or lots if subdivision): 36 lots
4.	Number of bedrooms per dwelling: 3
5.	Proposed density in units per acre and intensity in impervious surface ratio: 5 dayles 4200
6.	Are proposed roads, easements, stormwater facilities, and/or on-site utilities to be private or dedicated to the city? Yes dedicated to the city private combination (attach explanation)
7.	Is this project part of an existing multi-phase development? X No Yes; this project is part of
8.	
	phoject anticipated to be developed in phases. This application is for phase(s)
9.	Has the city previously issued any development order for the subject parcel? X No Yes If yes, what is status of current development order?
10	. Height of tallest building above grade:<30'
11	. Is this waterfront property: X No Yes
	If yes, to which waterbody is this property adjacent?
	- The same property diagnostics
C.	DEVELOPMENT SITE INFORMATION
1.	Current use of site (in acres): Vacant / Single Family
2.	Address of site: 615 Seneca Avenue
	Property appraiser's parcel ID#(s)24379-000-000 & 24380-000-000
	17. 7. 11. January Feet and 1-11. [1]
	At he was a second control of the second con
VC	TE: Copy of deed with legal description MUST be included.
1.	Size of property: 318,380 (square feet); 7.13 (acres)
5.	Name(s) of adjacent stroot(s):
	North- E 7th Street South- Hagin Drive
	East N/A West Seneca Avenue
),	SITE LAND USE DESIGNATIONS
	Future Land Use Map Designation: LDRES (CAL)
	Future Land Use Map Designation of Adjacent Parcels:
	North- REC (CAL) / CON (CAL) South- LDRES (CAL)
	East- LDRES (CAL) West- LDRES (CAL)
2	Is subject property in an Overlay(s): Yes _X No (If yes, please specify)
	Too No (ii yes, please specily)
-	

4.	North Property's zoning district(s):	25.57	D C (CAT)
	North- R-6(CAL) East- R-6(CAL)	South	R-6 (CAL)
5	Zoning districts of adjacent parcels:	West	R-6 (CAL)
٠.	North- D(CAI) / CON(CAI)	0.10	44 (3) 4 4 (3) 5 4
	North- P(CAL) / CON(CAL) East- R-6 (CAL)	South	R-8 (CAL)
		_ vvest	COM-1 (CAL)
E.	. SITE UTILITIES (Check all applicable services)		
1.	Water system		
	Available capacity:		
	Demand created by proposed development:	10,800 GPI)
2.	Sewer system		
	Available capacity:		
	Demand created by proposed development:	10,800 GP	D
F.	TRAFFIC IMPACTS		
	Appendix A contains information on Transportati	ion Impact Fees	K.)
1.	HURRICANE EVACUATION - The subject proper Hurricane Evacuation Zone(s): (Check all that a	erty occurs in th	e following
	Tropical Storm Category 1 Hurr Category 3 Hurricane Category	ricane 4-5 Hurricane	Category 2 Hurricane _XN/A
G.	SITE ENVIRONMENTAL INFORMATION (Chec	k all that apply)	
1.	X Flood Zone Type: X; Elevation N	/ A	
2	Protected Trace (indicate type and size as	- alteration	
3	Protected Trees (indicate type and size or Wetlands:FDEPCOE	i site pian)	
4.	Shoreline		
	Coastal Area		
6.	Aquifer Recharge		
7.	Wildlife Habitat		
An	environmental assessment should be included with	th the application	n. This assessment should be
pre	epared by a licensed environmental firm, and at a r	ninimum should	address the following:
-1	(Canada or Corporate Corporation)		
a) b)	Hazardous materials inspection.	Actor to a constitution	The state of the s
	Wetland delineation including all wetland buffers.	Any recommer	nded mitigation should be detailed
c) d)	Characterization of the shoreline habitat and aqua	atic resources (shellfish, seagrass beds, etc.)
≘)	Characterization of the uplands ecosystems and	SOIIS.	
-1	Ecosystem characterization, threatened and enda mitigation, if necessary.	arigerea species	report, including recommended
)	Survey of the Florida Master Site Eile (administration	ad by the Dans	. 201612.5
	survey of the Florida Master Site File (administere of Historical Resources) to determine the present significance.	ce of items of his	u of Historic Preservation, Division storical, cultural, or archeological

H. REQUIRED PERMITS (Check all that apply)

1,		Dredge and Fill (DEPCOE)
2.		FDOT (Driveway Access Drainage Utility)
3.	X	Right-of-Way Use (Bay County _X _ City of Callaway)
4.	X	Driveway (Bay County _X _ City of Callaway)
5.		Water Well (NWFWMD Health Dept)
6,	X	FDEP Water Distribution
7.	X	FDEP Wastewater Collection and Transmission
8.	X	FDEP Stormwater
9.		Others (specify):

CERTIFICATION OF RIGHT TO APPLY FOR DEVELOPMENT ORDER AND UNDERSTANDING OF TRANSPORTATION CONCURRENCY AND WETLANDS REQUIREMENTS

I hereby certify that the information contained herein is true and correct and that I am either the true and sole owner of the subject property or am authorized to act on behalf of the true owner(s) in all regards in this matter, pursuant to proof and authorization submitted with the corresponding development application or attached hereto. I hereby represent that I have the lawful right and authority to file this application. I understand that submission of the form initiates a process and does not imply approval by the City of Callaway.

I further certify that I understand that issuance of a Certificate of Concurrency will require successful completion of Development Review, and that likewise no final development order will be issued except upon successful completion of this Concurrency Review. I further understand that "Inquiry Only" Review will result in no Certificate of Concurrency being issued, and therefore no binding assurance of future capacity, and that a Concurrency Review application will be required in conjunction with the first final development order applied for on this property.

I do hereby certify my understanding that a thirty (30) foot buffer is required between DEP jurisdictional wetlands, and a fifty (50) foot buffer is required between the mean high-water line of East Bay and its tributaries. I understand that all vegetation must be preserved within the 30-foot buffer with no land clearing to occur. I further understand that erosion control measures (e.g., hay bales, silt fence) must be installed at the **landward** edge of the wetland buffer and along any ditch or other stormwater control structure prior to any clearing on the site and maintained throughout construction including final grading. I understand that a City of Callaway Development Order does not authorize any land clearing in jurisdictional wetlands and that permits must be obtained from the Department of Environmental Protection and/or the U. S. Army Corps of Engineers for development activities in wetlands.

By signing this application, the owner hereby authorizes the City of Callaway Planning Department to access the subject property to verify information contained in this application and accompanying submittal documents. Further, the person named as the Project Contact is authorized on my behalf (if applicable).

Owner's or Authorized Agent's signature Date Date

Thomas Steele

(Please print or type name)

ENGINEER'S CERTIFICATION

-	Sean D. McNeil		_ certify	that I have re	viewed and intend	to comply with the City of
Callaway	s Land Developme	nt Regulatio	ons.			
Those ite requestii	em(s) not in complia ng a variance or spe	nce with the cial exception	City of on for ar	Callaway's La e listed below:	nd Development R	egulations for which I am
	Non-Compliance Item	Relevant C Section	-0-17 TAST		Reason(s)
1						
2						
3						
4						
5						
	(Attach extra sheets			the ci		
Approva			l variand	es or special of	exception will be w	ith the City Commission.
l, a comple	Sean D. Mc	21/20	_, am fui	ly aware of the	information requir	red to submit and request
The info	rmation contained in	this submiti	, prepar	ed with sound	engineering princip	rect to the best of my ples, and complies with all
				Certified by:	Sean	Digitally signed by Sean McNeil
			Date:		McNeil	Date: 2025.06.18 08:25:03 -05'00'
Compan	y Name and Addres	s:	Name:		eil	
	il Carroll Engineer arrison Avenue, Su		Title: _	President	TCO FTOO	
	na City, Florida 32			one:(<u>850</u>)_ egistration No.	763-5730 49303	

CITY OF CALLAWAY DEVELOPMENT MEMORANDUM OF UNDERSTANDING FOR WATER AND/OR SEWER FACILITIES

It is hereby understood by and between the City of Callai	way and	Thomas Steele	, the Developer/Authorized
Agent of Panhandle Construction Services Group, LLC	that all dev	relopments receiving	water and sewer services
from the City will comply with the following provisions:		o o o o o o o o o o o o o o o o o o o	water and contact day violes

- All water and sewer facilities being constructed by the developer in conjunction with this project, shall be constructed in accordance with plans and specifications prepared and sealed by a registered professional engineer licensed to participate in the State of Florida.
- All water meters and appurtenances shall be approved by the City and installed by the developer at no cost to the city. All meters shall include meter transmitting units (MTU) and towers as determined by the City to be necessary to provide a fixed network meter read system.
- Water and sewer facilities being constructed by the developer for which the City will be requested to assume
 maintenance and operation responsibilities shall be constructed in accordance with the City's Land
 Development Regulations and other applicable ordinances.
- It shall be the developer's responsibility to properly secure all applicable Local, County, State, and Federal
 permits to construct these facilities, including the payment of all associated fees.
- It shall be the developer's responsibly to ensure compliance with all applicable laws, regulations, and permit conditions during construction.
- Water service for construction purposes only may be permitted by the city upon specific metered fire hydrant or other above ground connection. The developer will be responsible for payment of water consumption.
- 7. The developer shall ensure that no potable water service will be provided through these facilities until:
 - A. All bacteriological and pressure testing has been completed.
 - B. The system has been approved for use by the Department of Environmental Protection.
 - C. As-built plans have been received by the city.
 - D. All required submittals have been received (i.e., pump station valves, hydrants, meters, etc.)
 - E. All applicable fees are paid in full.
- 8. The developer assumes full responsibility for payment of all enforcement action fees, penalties, remediation costs, or similar expenses imposed against the city by the Department of Environmental Protection or any settlement arising from such an enforcement action in any way or in any part caused by or related to this project and for legal and/or professional fees incurred by the city in defending or addressing any such enforcement action.
- No public utility service shall be provided to the development until all the above conditions are met, inspected, and approved by the city. It is the developer's responsibility to call for inspections as required 48 hours in advanced.

By execution below, the developer is certifying that he/she has read and understands the provisions outlined herein and accepts full responsibility for compliance therewith. If signed by agent or anyone other than owner/developer, please provide documents authorizing the person to sign.

Thomas Steele	6/17/2025
Developer (Print) ·	Date
Panhandle Construction Services Group, LLC	6/17/2005
Company (Print)	Date
N/A	Themas Jorry Slavo
Authorized Agent (Print)	Signature

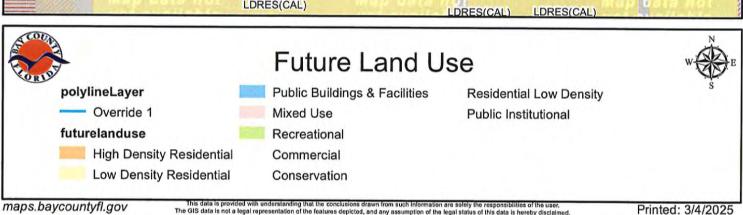




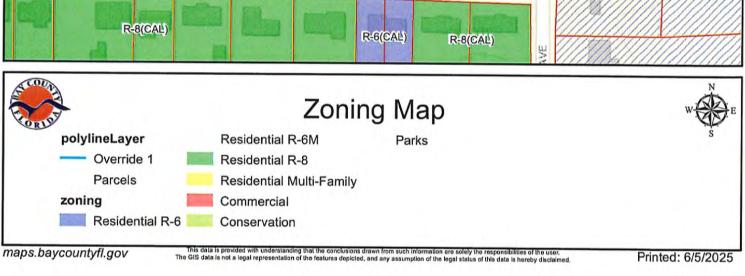
Aerial









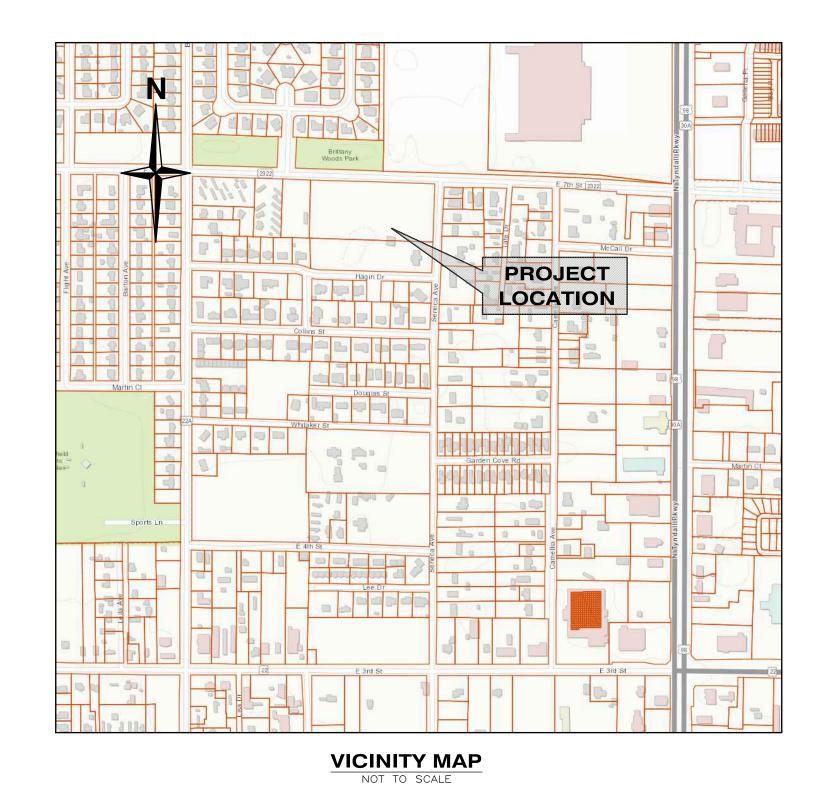


GRAND OAKS SUBDIVISION CALLAWAY, FLORIDA

FOR:

PANHANDLE CONSTRUCTION SERVICES GROUP

P.O. BOX 611413 ROSEMARY BEACH, FLORIDA



PREPARED BY:

A75 Harrison Avenue, Suite 200 Panama City, Florida 32401

— CARROLL

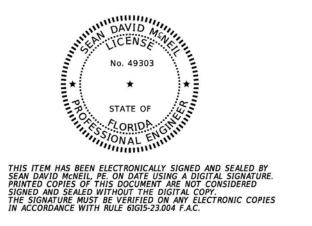
ENGINEERING, INC.

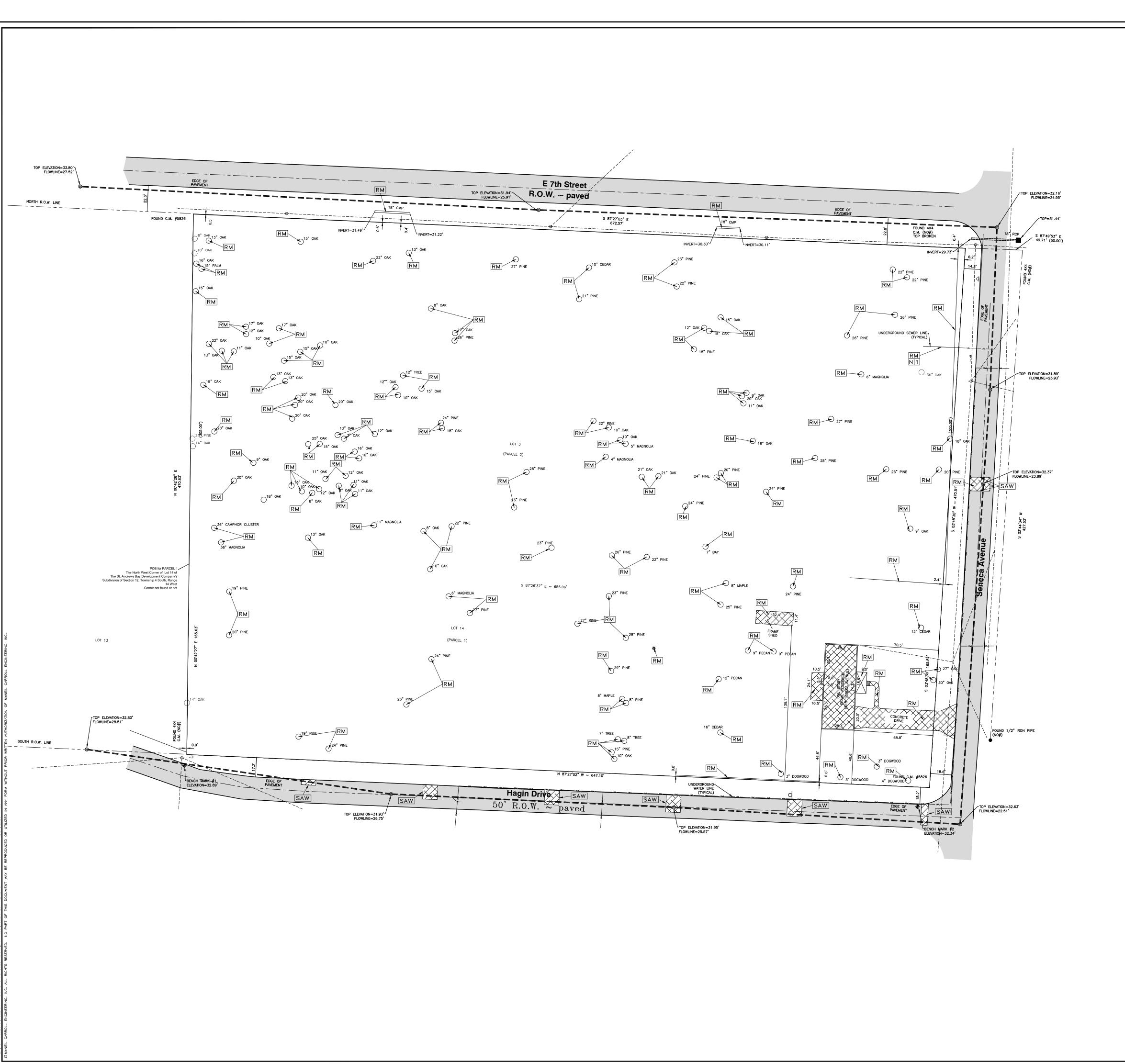
Professional Engineering Consultants

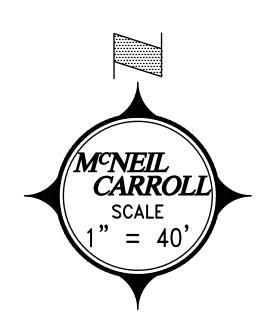
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

PROJECT 1582.01

INDEX OF SHEETS	SHEETS
DEMOLITION PLAN	1
EROSION CONTROL PLAN	2
LAYOUT PLAN	3
GRADING AND DRAINAGE PLAN	4
UTILITY PLAN	5
CROSS SECTIONS	6
CONSTRUCTION DETAILS	7-11







SITE DEMOLITION DRAWING NOTES:

- 1. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED
- DETAILS.
- ALL DEMOLISHED MATERIALS (ie., SIGNS, CONCRETE, ASPHALT, ETC...) TO BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.
 ALTHOUGH EVERY ATTEMPT TO LOCATE UNDERGROUND UTILITIES HAS BEEN MADE, THERE IS THE POSSIBILITY OF UNDERGROUND GAS, ELECTRICAL, WATER SEWER, ETC... THAT HAS NOT BEEN LOCATED. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 4. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR FOLLOWING REQUIRED WASTE MANAGEMENT PRACTICES AS DEFINED BY GOVERNING MUNICIPALITY.

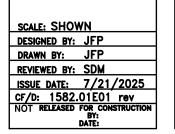
 5. IS THE CONTRACTORS RESPONSIBILITY TO CALL SUNSHINE ONE AT 811 FOR UTILITY
- LOCATES PRIOR TO CONSTRUCTION.
- 6. CONTRACTOR SHALL REMOVE EXISTING SEWER LINE ON THE PROPERTY AND CAP THE EXISTING LINE

SYMBOL LEGEND

- N 1 (SEE NOTE ie., #1 SEE NOTES ON THIS SHEET)
- RJ (REMOVE EXISTING MATERIALS TO NEAREST JOINT)
- RM (REMOVE EXISTING MATERIALS)
- SAW (SAW CUT AND REMOVE EXISTING MATERIALS)

PERMIT PURPOSES ONLY

DEMOLITION PLAN GRAND OAKS SUBDIVISION 7TH & SENECA CALLAWAY, FLORIDA

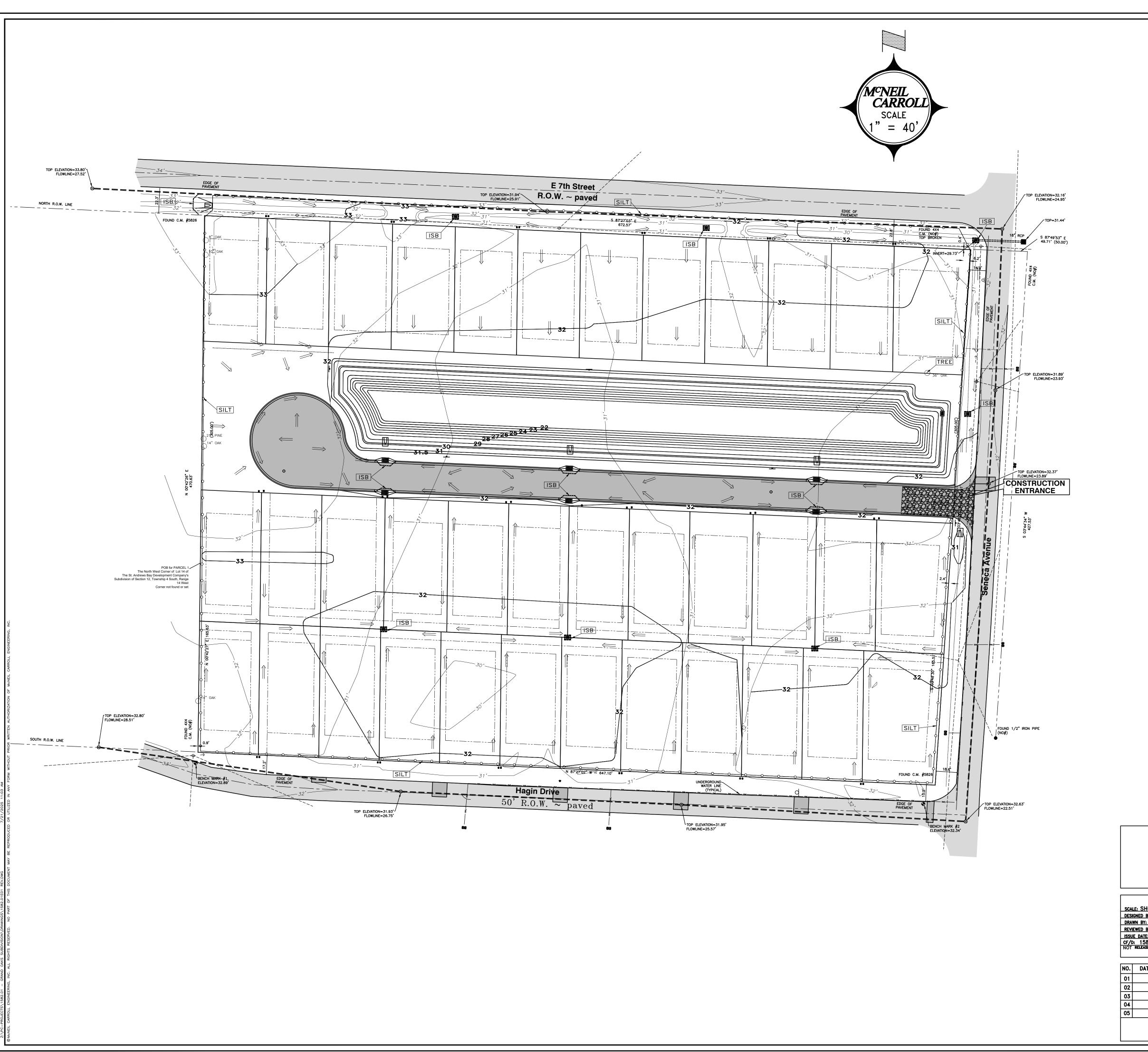


M^CNEIL —CARROLL ENGINEERING, INC.

475 Harrison Avenue, Suite 200 Panama City, Florida 32401 850-763-5730

Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

NO.	DATE	BY		REVISIONS	
01					
02					
03					
04					
05					
	Se	OFESS!	. McNeil, P.E. IONAL ENGINEER LC # 49303	Robert L. Carroll, P.E. PROFESSIONAL ENGINEER FL LC # 57988	07/21/25



SITE EROSION CONTROL DRAWING NOTES:

- 1. EROSION CONTROL SHALL BE MAINTAINED FOR THE DURATION FOR THE PROJECT. 2. ALL CONSTRUCTION OUTSIDE OF PROPERTY LINES IS SHOWN IN DETAIL ON PERMIT
- DRAWINGS. (SEE GENERAL NOTES.). 3. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.
- 4. SEE SECTIONS IN CONSTRUCTION DETAILS. 5. SILT FENCE TO BE INSTALLED AT PERIMETER OF SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES WILL BE UTILIZED THROUGHOUT THE CONSTRUCTION PHASE OF THIS
- PROJECT TO RESTRICT ANY TURBID RUNOFF FROM LEAVING THE CONSTRUCTION SITE. 6. CONTROL OF SEDIMENT-LADEN RUNOFF SHALL BE PROVIDED WITH HAY BALES AND/OR GEOTECH STYLE FABRICS. ALL CONTROL MEASURES SHALL BE PROPERLY LOCATED AND CONSTRUCTED TO PREVENT SEDIMENT TRANSPORT. THE MEANS FOR RETAINING THE SEDIMENTS WILL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT IMPROVEMENTS ARE COMPLETE
- 7. THE CONTRACTOR IS RESPONSIBLE FOR TREATING ALL ONSITE STORMWATER DRAINAGE AS REQUIRED TO MEET THE CRITERIA OF 62-3 FLORIDA ADMINISTRATIVE CODE, F.A.C. PRIOR TO
- 8. ALL CATCH BASINS, INLETS AND ACCESSES TO UNDERGROUND STORMWATER SYSTEMS SHALL BE PROTECTED IN ACCORDANCE WITH THE ATTACHED DETAILS.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE TERMS AND CONDITIONS OF ANY STORMWATER PERMITS THAT MAY APPLY (FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, FLORIDA DEPARTMENT OF TRANSPORTATION, BAY COUNTY, WATER MANAGEMENT
- 10. CONSTRUCTION DRIVES SHALL SLOPE AWAY FROM THE ROADWAY AT A MINIMUM SLOPE OF 2.00% TO DISTANCE OF NOT LESS THAN 15 FEET FROM THE EDGE OF PAVEMENT. THE MAXIMUM WIDTH OF THE DRIVE SHALL BE 30 FEET WITH #57 GRAVEL SURFACE 6 INCHES THICK. SIGNS SHALL BE PLACED (IN ACCORDANCE WITH CITY AND STATE REQUIREMENTS) TO WARN APPROACHING DRIVERS AND PEDESTRIANS.
- 11. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR FOLLOWING REQUIRED WASTE MANAGEMENT PRACTICES AS DEFINED IN THE BAY COUNTY MUNICIPAL CODE SECTION 22-91 "UNLAWFUL DISPOSAL OF WASTE, FAILURE TO DELIVER WASTE", WHICH MAKES IT UNLAWFUL FOR ANY PERSON TO DUMP, LEAVE OR BURY ANY SOLID WASTE ON PUBLIC OR OR PRIVATE
- 12. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING COVERAGE UNDER THE FDEP GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION OR ANY DISTURBANCE OF LAND GREATER THAN 1 ACRE. THE DEVELOPER/CONTRACTOR WILL FORWARD A COPY OF THE PERMIT AND WILL PROVIDE 48 HOUR NOTIFICATION TO THE APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL REQUIRED ELEMENTS OF THE SWPP MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION. FAILURE TO COMPLY COULD RESULT IN
- CODE ENFORCEMENT ACTION AND FINES. 13. QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND/OR WITHIN 24 HOURS OF THE END OF A STORM EVENT
- (RAINFALL) THAT IS A 1/2 INCH OR GREATER: A. POINTS OF DISCHARGE TO WATERS OF THE UNITED STATES.
 - B. POINTS OF DISCHARGE TO MUNICIPAL SEPARATE STORM WATER SYSTEMS. . DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - D. AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION. . STRUCTURAL CONTROLS. . LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
- 14. THE CONTRACTOR SHALL INITIATE REPAIRS WITHIN 24 HOURS OF INSPECTION THAT INDICATE ITEMS ARE NOT IN GOOD WORKING ORDER. TO COMPLY, THE CONTRACTOR SHALL INSTALL AND MAINTAIN RAIN GAGES AND DAILY RAINFALL RECORDS. WHERE SITES HAVE BEEN PERMANENTLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH. THE CONTRACTOR SHALL ALSO INSPECT AND CERTIFY THAT CONTROLS INSTALLED IN
- THE FIELD AGREE WITH THE LATEST STORMWATER POLLUTION PREVENTION PLAN. 15.IF INSPECTIONS INDICATE THAT THE INSTALLED STABILIZATION AND STRUCTURAL PRACTICES ARE NOT SUFFICIENT TO MINIMIZE EROSION, RETAIN SEDIMENT, AND PREVENT DISCHARGING POLLUTANTS, THE CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES, WHERE SITES HAVE BEEN PERMANENTLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY
- MONTH. AS NEEDED. 16. RECORDS OF THE INSPECTIONS AND THE CONSTRUCTION PERMIT MUST BE MAINTAINED AT THE CONSTRUCTION SITE AND BE READILY AVAILABLE FOR INSPECTION.
- 17.ALL STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, DEMOLITION OR OTHER DISTURBANCE TO THE SUBJECT SITE.

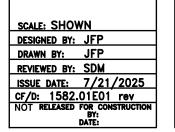
CONSTRUCTION SEQUENCE AND BMP'S NWFWMD

- 18. THE INITIAL PART OF THE CONSTRUCTION PROCESS SHALL BE THE INSTALLATION OF SILT FENCE AROUND THE PERIMETER OF THE AREA THAT IS TO BE DISTURBED TO ENSURE NO TURBID RUNOFF LEAVES THE CONSTRUCTION SITE. THE SILT FENCE SHALL BE INSTALLED PER THE CONSTRUCTION DETAILS. IF THERE IS A POSSIBILITY OF RUNOFF TO A WATER BODY, TURBIDITY CURTAIN SHALL BE INSTALLED PER THE CONSTRUCTION DETAILS. THE SECOND STEP SHALL BE THE INSTALLATION OF THE CONSTRUCTION ENTRANCE AND DEMOLITION OF ANY EXISTING IMPROVEMENTS AS NEEDED (SEE DEMOLITION PLAN). THE THIRD STEP SHALL BE TO CLEAR AND GRUB AREAS WHERE IMPROVEMENTS ARE TO BE INSTALLED. AS FILL IS BROUGHT INTO THE SITE, THE STORMWATER BASIN SHOULD BE CREATED TO CAPTURE ANY OVERLAND FLOW AND ACT AS A SEDIMENT TRAP. IT IS RECOMMENDED THAT THE BASIN BE CONSTRUCTED APPROXIMATELY 1/2' HIGHER THAN DESIGN AT THIS POINT TO ENSURE ALL SILTS AND FINES ARE REMOVED AT THE TIME OF FINAL GRADING OF THE STORMWATER BASIN.
- 19. TYPICALLY, THE SANITARY SEWER, STORM SEWER, AND WATER MAINS ARE INSTALLED RESPECTIVELY. UPON INSTALLATION OF THE STORM SEWER, HAY BALES AND FILTER FABRICS SHALL BE USED AT ALL INLET OPENINGS PER THE CONSTRUCTION DETAILS TO THE KEEP THE SYSTEM FREE OF SEDIMENTS DURING THE CONSTRUCTION PHASE. DEPENDING ON SITE CONDITIONS AND SIZE, SEDIMENT TRAPS SHALL BE UTILIZED TO PREVENT TURBID RUNOFF FROM LEAVING THE SITE (SEE EROSION CONTROL PLAN).
- 20.SITE STABILIZATION SHALL BE PROVIDED AS SOON AS THE GRADING WILL ALLOW IN ORDER TO STOP EROSION AND REDUCE TURBID RUNOFF. SEEDING, SODDING, OR HYDROSEEDING SHALL BE USED WHEN FINAL GRADES ARE ESTABLISHED.
- 21.EROSION CONTROL MEASURES SHALL BE UTILIZED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT AND BE MANAGED IN ACCORDANCE THE THE STATE NPDES PROGRAM.
- 22.THE DESIGN OF THE STORMWATER MANAGEMENT SYSTEM FOR THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT.
- 23.THE OWNER OR THE OWNER REPRESENTATIVE IS RESPONSIBLE FOR MONITORING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY AND SUBMITTING TO THE APPROPRIATE AGENCY NOTICE OF COMMENCEMENT AND AS-BUILT CERTIFICATIONS FOR THE PROJECT WHEN COMPLETED. SYMBOL LEGEND
 - (STORMWATER SURFACE FLOW)
- ISB (INLET SEDIMENT BARRIER SEE CONSTRUCTION DETAILS)
- SILT (SILT FENCE SEE CONSTRUCTION DETAILS)
- $\overline{\text{PV}|\text{G}}$ (24' WIDE x 50' DEEP FDOT #1 OR #2 GRAVEL CONSTRUCTION ENTRANCE 6" THICK)
- TREE (TREE PROTECTION SEE CONSTRUCTION DETAILS)

PERMIT PURPOSES ONLY

EROSION CONTROL PLAN GRAND OAKS SUBDIVISION

7TH & SENECA CALLAWAY, FLORIDA



M^CNEIL ENGINEERING, INC.

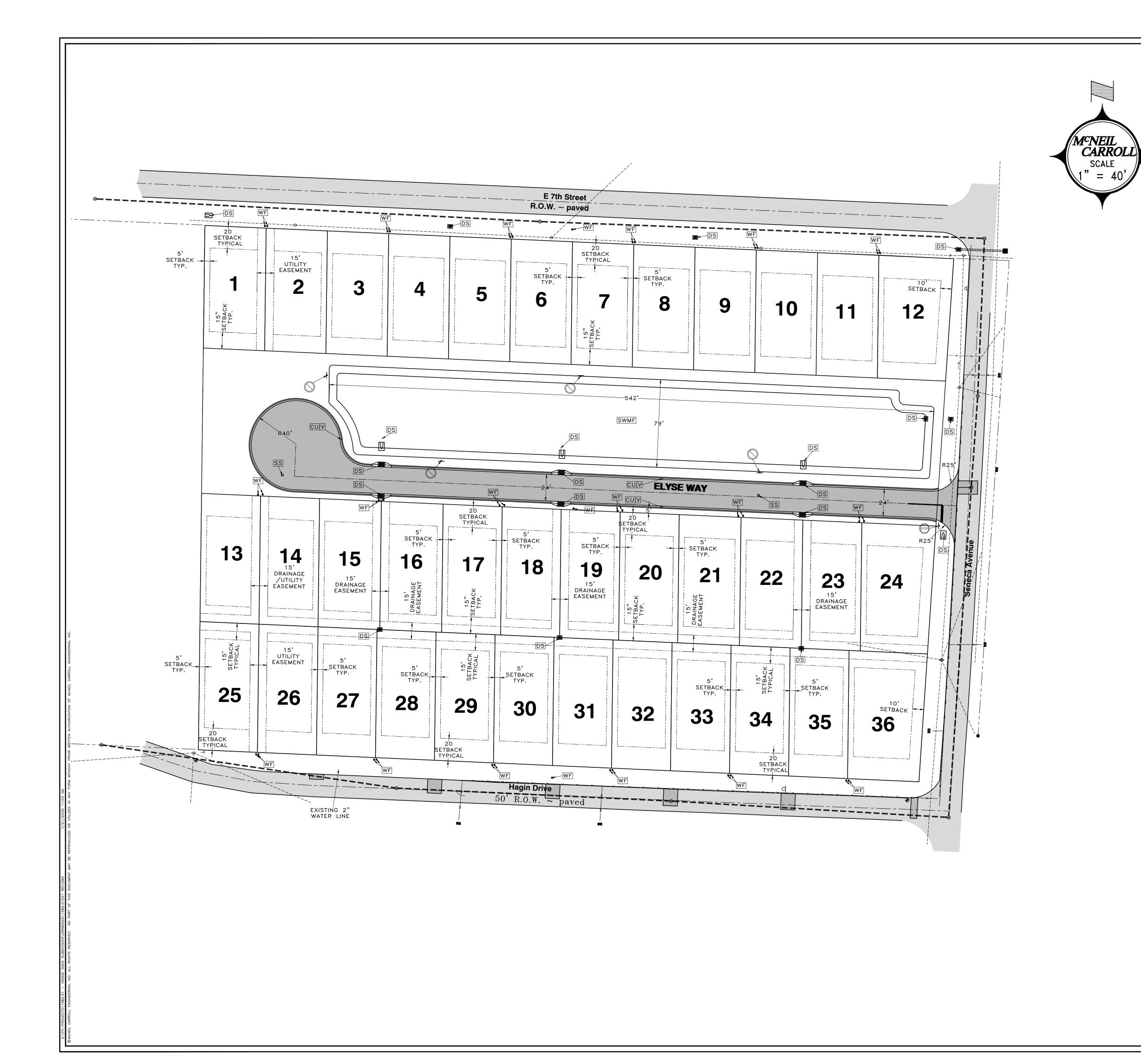
475 Harrison Avenue, Suite 200 Panama City, Florida 32401 850-763-5730

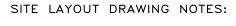
07/21/25

Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

NO.	DATE	BY		REVISIONS			
01							
02							
03							
04							
05							
Sean D. McNeil, P.E. PROFESSIONAL ENGINEER FL LC # 49303		IONAL ENGINEER	Robert L. Carroll, P.E. PROFESSIONAL ENGINEER FL LC # 57988				

2 2





- ALL RADII AT FACE OF CURB ARE 5' UNLESS OTHERWISE SHOWN.
 CONTRACTOR SHALL PROVIDE McNEIL CARROLL ENGINEERING, INC. FIVE (5) SETS OF
 AS-BUILT DRAWINGS AND ONE (1) DIGITAL COPY (AUTOCAD FORMAT) OF THE COMPLETED
 PROJECT. DRAWINGS SHALL BE PREPARED AND SIGNED & SEALED BY A FLORIDA
 REGISTERED SURVEYOR.
- 3. ALL DIMENSIONS AT CURB ARE FROM FACE OF CURB.
 4. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SODDED PER
- 5. A COPY OF ALL REGULATORY PERMITS SHALL BE KEPT ON SITE.
 6. THE CONTRACTOR SHALL REVIEW THE COMPLETE NWFWMD PERMIT PRIOR TO
- CONSTRUCTION COMMENCEMENT.

 7. AN 8 $1/2 \times 11$ NWFWMD WEATHER RESISTANT SIGN, INCLUDING THE PERMIT NUMBER
- SHALL BE PLACED ON THE PROPERTY FACING THE ROAD.

 8. ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.
- 9. ALL ABOVE GROUND UTILITIES TO BE SCREENED BY LANDSCAPING. 10. ALL EASEMENTS SHALL BE DEDICATED TO THE CITY OF CALLAWAY.

SYMBOL LEGEND

(DENOTES NEW "STOP" SIGN)

(DENOTES NEW "IN-WATER RECREATION IS PROHIBITED" SIGN)

CUV (F.D.O.T. CURB ie., TYPE V VALLEY CURB)

DS (DRAINAGE STRUCTURE - SEE GRADING & DRAINAGE PLAN)

N1 (SEE NOTE ie., #1 - SEE NOTES ON THIS SHEET)
SS (SEWER STRUCTURE - SEE UTILITY PLAN)

SS (SEWER STRUCTURE - SEE UTILITY PLAN
SWMF (STORM WATER MANAGEMENT FACILITY)

WF (WATER FIXTURE - SEE UTILITY PLAN)

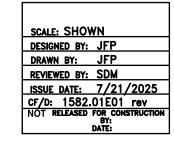
SITE DATA TABLE						
PARCEL ID: 24379000-000 & 2438	0-000-000					
GOVERNING ENTITY - CITY OF CALLA	WAY					
ZONING - RESIDENTIAL R6						
TOTAL AREA OF SITE: 310,380 SQUA	RE FEET - 7.13 ACRES					
FLOOD ZONES ON PROPERTY: X						
	ALLOWED/REQUIRED	PROPOSED				
TOTAL IMPERVIOUS AREA	155,190 SQUARE FEET - 3.56 ACRES	133,100 SQUARE FEET - 3.06 ACRES				
IMPERVIOUS SURFACE RATIO	0.50	0.42				
DENSITY	16 UNITS PER ACRE	5.04 UNITS PER ACRE				
OPEN SPACE AREA	155,190 SQUARE FEET - 3.56 ACRES	177,280 SQUARE FEET - 4.07 ACRES				
OPEN SPACE RATIO	0.50 MIN.	0.58				
FRONT YARD SETBACK	20 FEET	20+ FEET				
SIDE YARD SETBACK	5 FEET	5+ FEET				
REAR YARD SETBACK	15 FEET	15+ FEET				
CORNER SETBACK ABUTTING STREET	10 FEET	10+ FEET				

TRIP GENERATION SCHEDULE									
DESCRIPTION/ ITE CODE	UNIT DESIGNATION	EXPECTED UNITS	EXPECTED DAILY TRIPS	P.M. PEAK TRIPS					
SINGLE FAMILY HOMES / 210	DU	36	345	36					

CALCULATION DERIVED FROM ITE 10th. EDITION.

PERMIT PURPOSES ONLY

LAYOUT PLAN
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA



MCNEIL

—CARROLL

ENGINEERING, INC.

Professional Engine

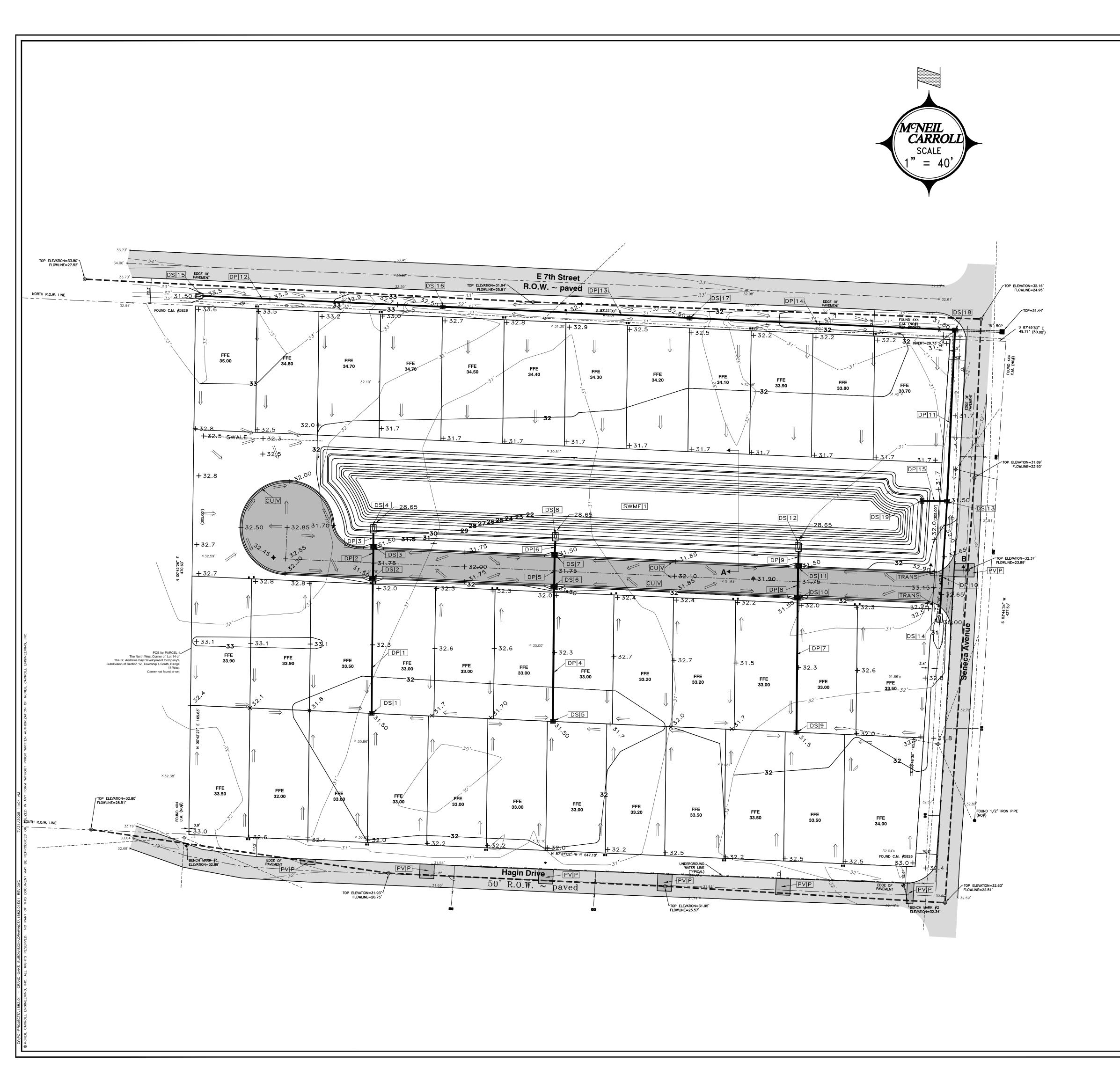
ENGINEERING, INC.

Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

NO.	DATE	BY		REVISIONS	
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	Sea PRO	FESSI	. McNeil, P.E. IONAL ENGINEER LC # 49303	Robert L. Carroll, P.E. PROFESSIONAL ENGINEER FL LC # 57988	07/21/25

SHEET NUMBER

3 OF 11
1582.01 — GRAND



SITE GRADING AND DRAINAGE DRAWING NOTES:

- 1. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS. 2. ALL DEMOLISHED MATERIALS (ie., SIGNS, CONCRETE, ASPHALT, ETC...) TO BE REMOVED AND DISPOSED
- OF IN A LEGAL MANNER. 3. SEE SECTIONS IN CONSTRUCTION DETAILS.
- 4. PROPOSED FINISHED FLOORS SHALL BE 1 FOOT (MIN.) ABOVE ROADWAY CENTERLINE.
- 5. CONTRACTOR SHALL PROVIDE McNEIL CARROLL ENGINEERING, INC. FIVE (5) SETS AND ONE (1) DIGITAL COPY (AUTOCAD FORMAT) OF AS-BUILT DRAWINGS OF THE COMPLETED PROJECT. DRAWINGS SHALL BE
- PREPARED AND SIGNED & SEALED BY A FLORIDA REGISTERED SURVEYOR. 6. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL SUNSHINE ONE AT 811 FOR UTILITY LOCATES PRIOR
- 7. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SODDED PER FDOT INDEX

SYMBOL LEGEND

- ·34.60 (EXISTING SPOT ELEVATION)
- --36— (EXISTING CONTOUR) +12.50 (PROPOSED FINISHED GRADE)
- ⇒ (STORMWATER SURFACE FLOW)
- CUV (F.D.O.T. CURB ie., TYPE V VALLEY CURB SEE CONSTRUCTION DETAILS) DP 16 (SEE DRAINAGE PIPE SCHEDULE THIS SHEET ie., #16)
- DS 12 (SEE DRAINAGE STRUCTURE SCHEDULE THIS SHEET ie.,#12)
- PVA (ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS) PV|P (ASPHALT PAVEMENT PATCH - SEE CONSTRUCTION DETAILS)
- MAT (MATCH PROPOSED FLUSH WITH EXISTING SURFACE)
- N 1 (SEE NOTE ie.,#1 SEE NOTES THIS SHEET)
- SWMF 1 (SEE STORM WATER MANAGEMENT FACILITY SCHEDULE THIS SHEET)

TRANS (TRANSITION CURB 3')

DRA	AINAGE F	PIPE SCHEDULE				STORM WA	TER MANAGEME	ENT FACILIT	Y SCHEDULE			
SIZE	LF	TYPE	SLOPE		NO.	BASIN	TOP OF	SIDE	воттом	WATERS		
18"	119	ADS	0.20%			AREA	BANK ELEV.	SLOPE	ELEV.	ARE		
18"	26	ADS	0.20%		SWMF1	0.95 AC.	EL. 31.50	VARIES	EL. 22.00	7.1.		
18"	19	ADS	0.20%	31.50 TO 27.75 4 TO 1 SLOPE								
18"	119	ADS	0.20%				SLOPE					
18"	26	ADS	0.20%					NC				
18"	19	ADS	0.20%		SEE SHE	LAYOUT PLAN I	FOR DIMENSION	1/2				
18"	119	ADS	0.20%									
18"	26	ADS	0.20%									
18"	19	ADS	0.20%									
12X18	100	FLLIPTICAL RCP	0.25%									

ALL ADS PIPE SHALL BE AS SHOWN OR EQUAL ALL PERFORATED PIPE SHALL HAVE A GRAVEL PACK ALL ADS PIPE SHALL BE RATED N-12 SEE CONSTRUCTION DETAILS.

	DRAINAGE STRUCTURE SCHEDULE											
NO.	TYPE STRUCTURE	TOP OF GRATE	PIPE INVERT	BOTTOM INVERT								
DS1	FDOT TYPE C INLET	EL. 31.50	EL. 29.00 N,	EL. 28.00								
DS2	GUTTER INLET TYPE V	EL. 31.50	EL. 28.75 S, N,	EL. 27.75								
DS3	GUTTER INLET TYPE V	EL. 31.50	EL. 28.70 S, N,	EL. 27.70								
DS4	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A								
DS5 DS6	FDOT TYPE C INLET GUTTER INLET TYPE V	EL. 31.50 EL. 31.50	EL. 29.00 N, EL. 28.75 S, N.	EL. 28.00 EL. 27.75								
DS7	GUTTER INLET TYPE V	EL. 31.50	EL. 28.75 S, N,	EL. 27.75 EL. 27.70								
DS8	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A								
DS9	FDOT TYPE C INLET	EL. 31.50	EL. 29.00 N.	EL. 28.00								
DS10	GUTTER INLET TYPE V	EL. 31.50	EL. 28.75 S, N,	EL. 27.75								
DS11	GUTTER INLET TYPE V	EL. 31.50	EL. 28.70 S. N.	EL. 27.70								
DS12	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A								
DS13	FDOT TYPE C INLET	EL. 31.50	EL. 29.75 N, W. S.	EL. 28.75								
DS14	12X18 CONCRETE MITERED END	EL. N/A	EL. 30.00	EL. N/A								
DS15	15" CONCRETE MITERED END	EL. N/A	EL. 31.50	EL. N/A								
DS16	FDOT TYPE C INLET	EL. 32.50	EL. 30.70 E. W.	EL. 29.70								
DS17	FDOT TYPE C INLET	EL. 32.50	EL. 30.25 E. W.	EL. 29.25								
DS18	TBOT TITE O HILET	EL. 31.50	EL. 29.75 W. S. & EL. 29.73 E. EXISTING 18" RCP	EL. 28.70								
DS19	FDOT TYPE C INLET	EL. 31.00	EL. 29.75 E. & EL. 30.5 (9 PIPES) W. & EL. 29.75 W.	EL. 28.70								

SEE CONSTRUCTION DETAILS. 2' SUMP UNLESS OTHERWISE NOTED.

OILS AND GREASES, AND OTHER REFUSE.

STORMWATER OPERATION AND MAINTENANCE SCHEDULE

(A) STORMWATER MANAGEMENT SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED DESIGN, PLANS AND CALCULATIONS. (B) THE OPERATION AND MAINTENANCE ENTITY SHALL PROVIDE FOR THE INSPECTION OF THE STORMWATER MANAGEMENT SYSTEM IN ACCORDANCE WITH SUBSECTION 62-346.095(6), F.A.C. DURING THE

- INSPECTION, SPECIAL ATTENTION SHOULD BE MADE TO INSURE THAT: 1. ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE
- TO WATERS IN THE STATE. 2. THE SURFACE WATER MANAGEMENT SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE,
- ENGINEERED STORMWATER MANAGEMENT SYSTEM THAT INCLUDE OIL AND GREASE SEPARATORS, SKIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OIL OR GREASES. OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF
- AT A SANITARY LANDFILL OR BY OTHER LAWFUL MEANS. 4. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.

(C) INSPECTIONS OF THE PERMITTED SYSTEM SHOULD BE CONDUCTED AT LEAST ONCE EVERY THIRD YEAR AFTER CONVERSION OF A PERMIT TO THE OPERATION PHASE.

PERMIT PURPOSES ONLY

GRADING AND DRAINAGE PLAN **GRAND OAKS SUBDIVISION**

7TH & SENECA CALLAWAY, FLORIDA

SCALE: SHOWN DESIGNED BY: JFP DRAWN BY: JFP REVIEWED BY: SDM ISSUE DATE: 7/21/2025
CF/D: 1582.01E01 rev
NOT RELEASED FOR CONSTRUCTION

Sean D. McNeil, P.E. PROFESSIONAL ENGINEER FL LC # 49303

ENGINEERING, INC.

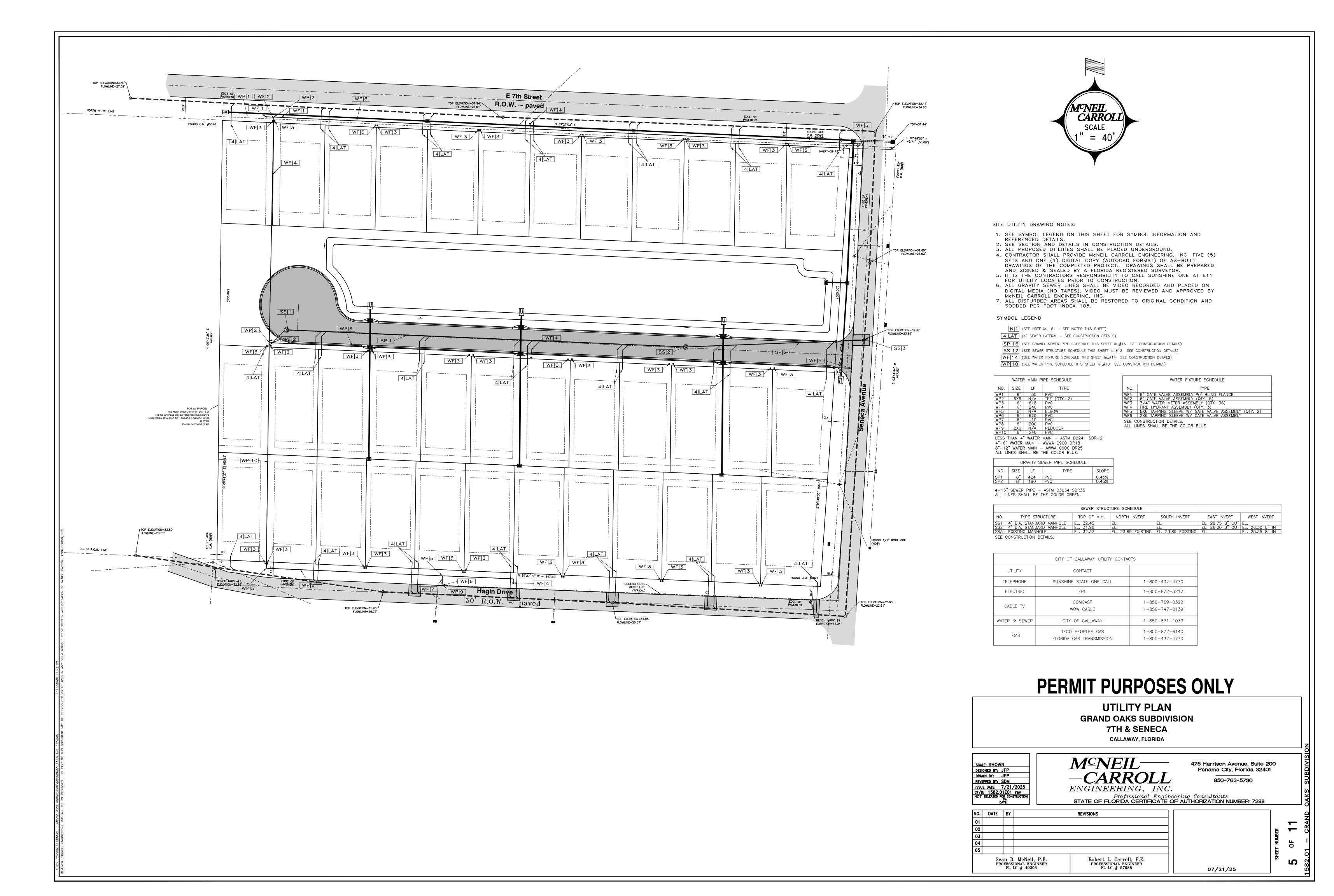
Robert L. Carroll, P.E.

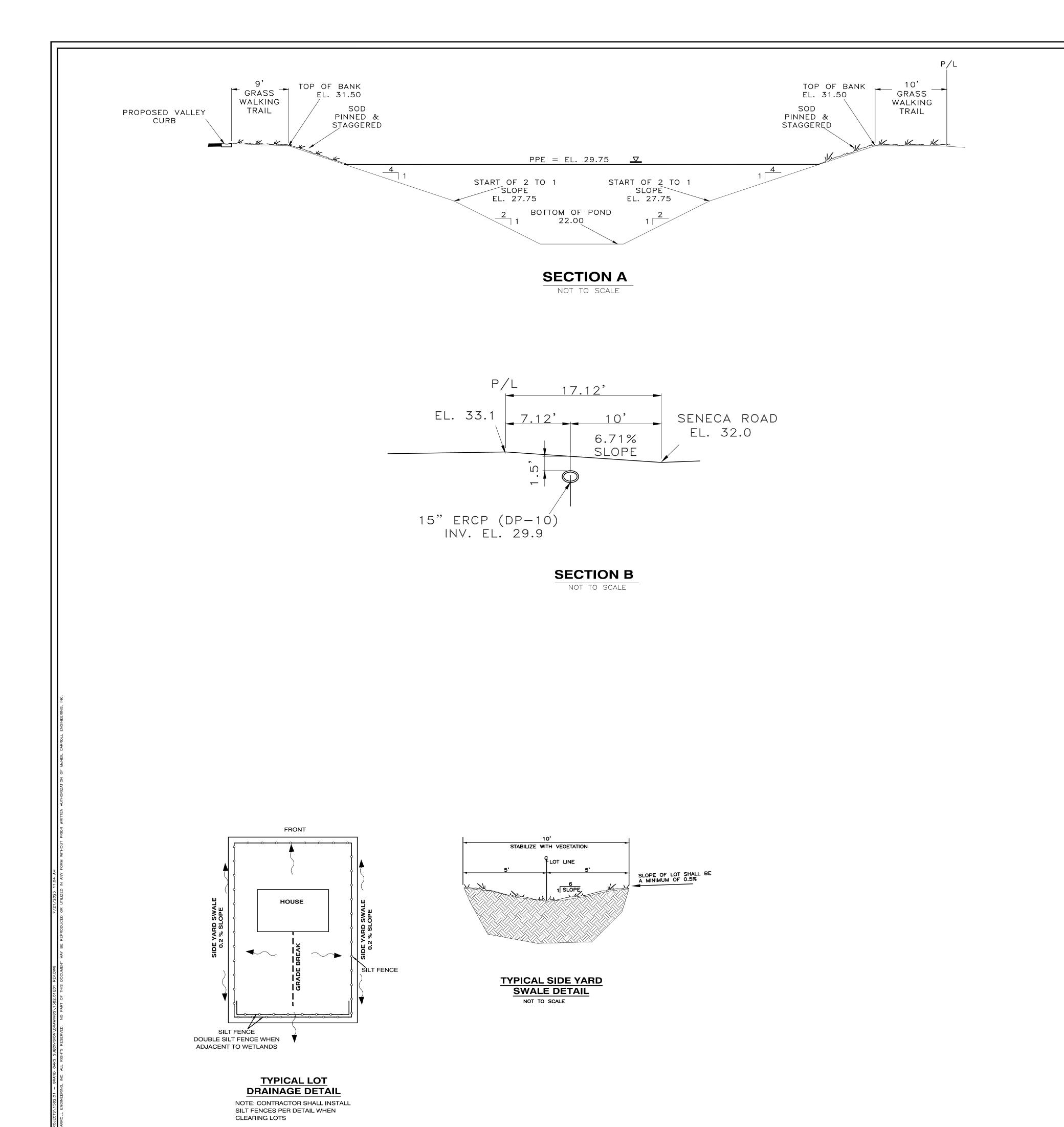
PROFESSIONAL ENGINEER FL LC # 57988

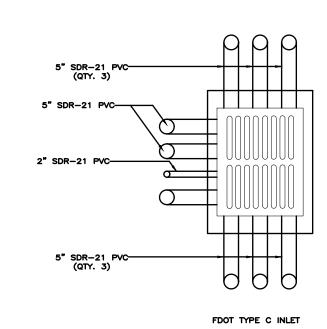
475 Harrison Avenue, Suite 200 Panama City, Florida 32401 850-763-5730

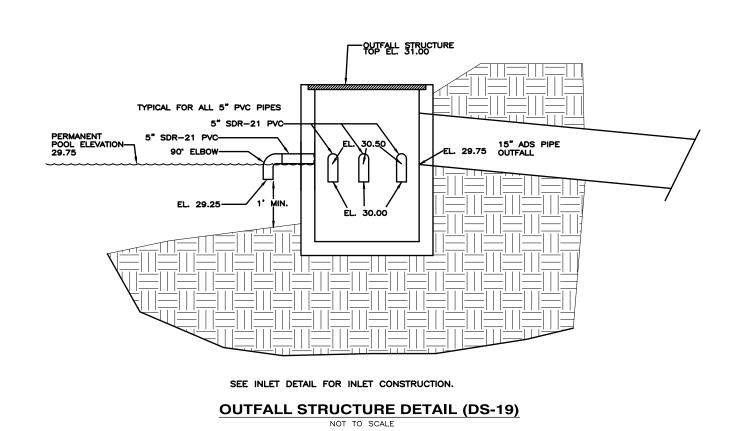
Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288 NO. DATE BY

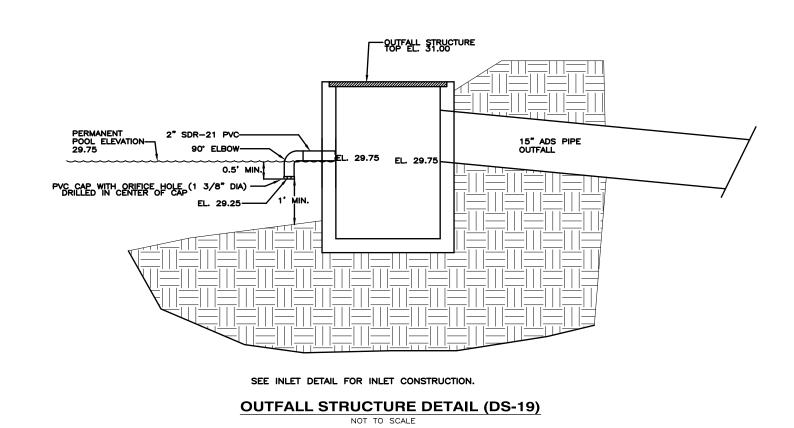
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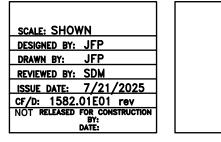






PERMIT PURPOSES ONLY

CROSS SECTIONS GRAND OAKS SUBDIVISION 7TH & SENECA CALLAWAY, FLORIDA



Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

475 Harrison Avenue, Suite 200 Panama City, Florida 32401 850-763-5730

NO. DATE BY Sean D. McNeil, P.E. PROFESSIONAL ENGINEER FL LC # 49303 Robert L. Carroll, P.E. PROFESSIONAL ENGINEER FL LC # 57988 **6** 07/21/25

GENERAL NOTES

PREVENTION, CONTROL AND ABATEMENT OF EROSION

ALL ON AND OFF SITE WORK INCLUDED CONSISTS OF BUT NOT LIMITED TO THE FOLLOWING:

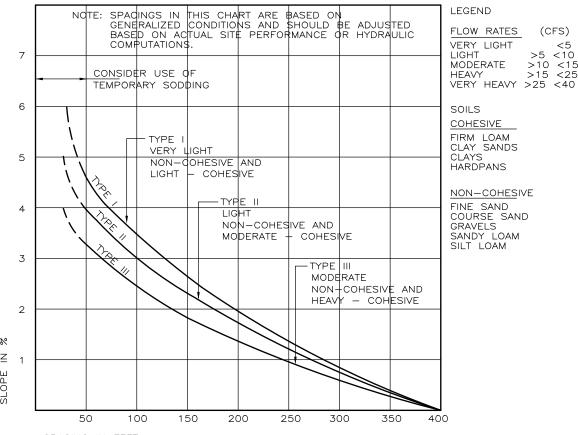
10.2643; SEEDING AND MULCHING OR SODDING FOR STABILIZATION. CONSTRUCTION OF SEDIMENT BASINS, CHECK DAMS OR FLOATING BARRIERS. PLACEMENT OF SILITATION FENCES DURING THE COURSE OF CONSTRUCTION

SILT FENCE TO BE INSTALLED AT PERIMETER OF SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES WILL BE UTILIZED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT TO RESTRICT ANY TURBID RUNOFF FROM LEAVING THE

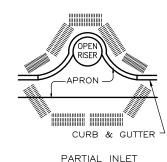
CONTROL OF SEDIMENT-LADEN RUNOFF SHALL BE PROVIDED WITH HAY BALES AND/OR GEOTECH STYLE FABRICS. ALL CONTROL MEASURES SHALL BE PROPERLY LOCATED AND CONSTRUCTED TO PREVENT SEDIMENT TRANSPORT. THE MEANS FOR RETAINING THE SEDIMENTS WILL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT IMPROVEMENTS ARE COMPLETE.

THE CONTRACTOR IS RESPONSIBLE FOR TREATING ALL ONSITE STORM WATER DRAINAGE AS REQUIRED TO MEET THE CRITERIA OF 62-3 FLORIDA ADMINISTRATIVE CODE, F.A.C.

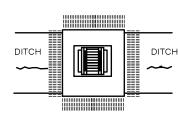
ALL CATCH BASINS, INLETS AND ACCESSES TO UNDERGROUND STORM WATER SYSTEMS SHALL BE PROTECTED IN ACCORDANCE WITH THE ATTACHED DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE TERMS AND CONDITIONS OF ANY STORM WATER PERMITS THAT MAY APPLY (FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, FLORIDA DEPARTMENT OF TRANSPORTATION, BAY COUNTY, WATER MANAGEMENT DISTRICT, ETC.).



SPACING IN FEET FDOT CHART I (BALED HAY OR STRAW BARRIERS AND SILT FENCES - INDEX 102



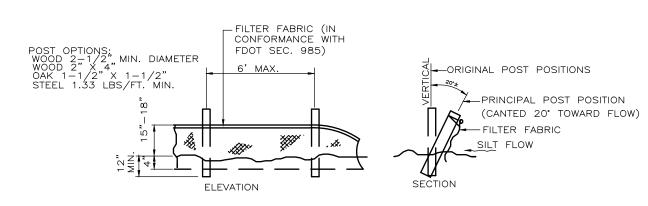
SILT FENCE SHALL EXTEND 4" AWAY FROM STAKES.



DITCH BOTTOM INLET

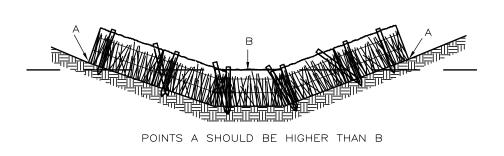
ANCHOR BALES WITH 2 - 2"X2"X4' STAKES PER BALE (SEE DETAIL)

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

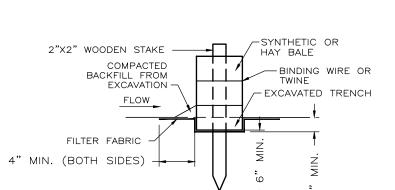


NOTE: SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR THE STAKED SILT FENCE (LF.) TYPE III SILT FENCE

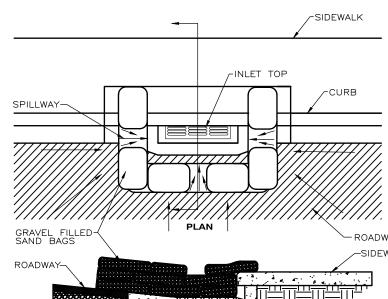
LO.315,TO.252;DO NOT DEPLOY SILT FENCES IN A MANNER THAT WILL ACT AS A DAM ACROSS SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND AS TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER. SILT FENCE SHOULD BE REPLACED EVERY SIX (6) MONTHS. SILT FENCE SHALL EXTEND A MINIMUM OF 4" BELOW GRADE.

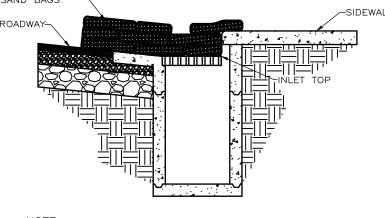


PROPER PLACEMENT OF BALES IN DRAINAGE WAY



EROSION CONTROL DETAILS NOT TO SCALE

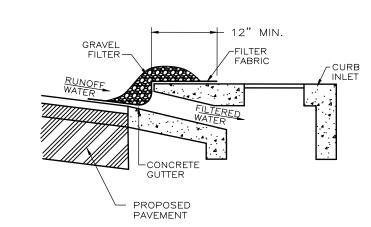




SECTION 1. GRAVEL FILLED BAGS TO BE PLACED TIGHTLY TOGETHER AS TO NOT ALLOW ANY GAPS IN BETWEEN THE BAGS VERTICALLY AND HORIZONTALLY. 2. IF SEDIMENT IS PENETRATING BAGS, BAGS MAY NEED

TO BE WRAPPED IN ADDITIONAL FILTER FABRIC.

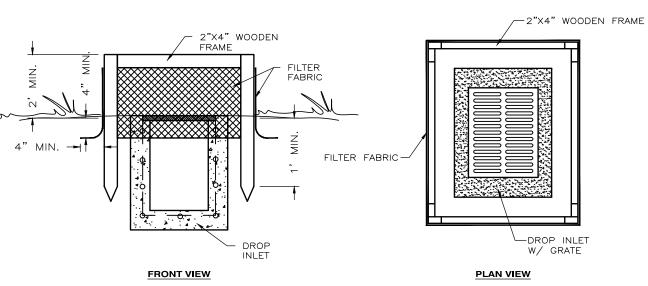
CURB INLET SEDIMENT BARRIER (OPTION 1) NOT TO SCALE



1. GRAVEL SHALL BE #57 STONE.

GRAVEL CURB INLET SEDIMENT FILTER (OPTION 2)

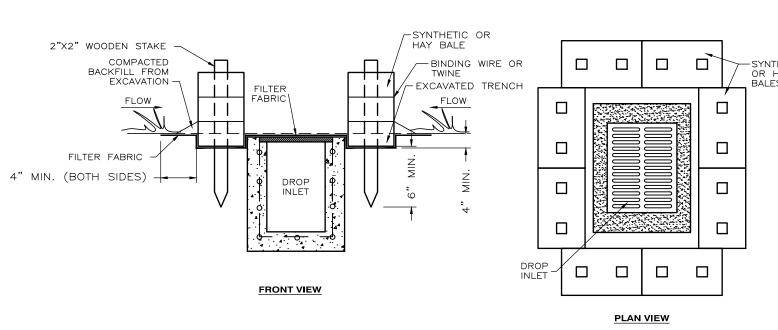
NOT TO SCALE



. TOP FRAME REQUIRED FOR STABILITY. . THIS METHOD OF INLET PROTECTION IS NOT TO BE USED IN RIGHT-OF-WAYS OR MEDIANS. 3. STAKES SHALL EXTEND 1' MIN. BELOW GRADE. 4. FILTER FABRIC SHALL EXTEND 4" MIN. BELOW GRADE AND 4" MIN.

> **DROP INLET** SEDIMENT FILTER **OPTION 1**

> > NOT TO SCALE



DROP INLET SEDIMENT FILTER OPTION 2

NOT TO SCALE

WORK IN RIGHTS-OF-WAYS

ALL WORK WITHIN RIGHTS-OF-WAYS SHALL BE IN STRICT ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE RESPECTIVE AGENCIES. THE CONTRACTOR SHALL COOPERATE WITH THE GOVERNING STATE AND LOCAL AGENCIES IN

ALL OFF-SITE WORK INCLUDED CONSISTS OF BUT IS NOT LIMITED TO THE FOLLOWING: CONSTRUCTION OF DRIVEWAY CONNECTIONS TO EXISTING MUNICIPAL ROADWAYS AS PLACEMENT OF ABOVE OR BELOW GROUND UTILITIES AND CONNECTION TO EXISTING

SITE CLEARING AND DEMOLITION

ALL PROCEDURES, MATERIALS AND METHODS OF CONSTRUCTION.

ANY WORK WITHIN STREET OR HIGHWAY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL THESE GOVERNING AUTHORITIES HAVE BEEN NOTIFIED AND

KEEP ALL AREAS WITHIN THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO PREVENT DUST FROM RISING DUE TO CONSTRUCTION. COMPLY WITH ALL ANTI-POLLUTION ORDINANCES. THIS SUBCONTRACTOR SHALL SEE TO IT THAT TRUCKS LEAVING THE SITE SHALL DO SO IN SUCH A MANNER THAT MUD AND EARTH WILL NOT BE DEPOSITED ON ADJACENT STREET PAVEMENTS. ANY MUD OR EARTH DEPOSITED ON STREET PAVEMENTS SHALL BE PROMPTLY

ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS FROM THE SITE INTO STREAMS AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO INSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN IT'S

TOPSOIL IS DEFINED AS FRIABLE CLAY LOAM SURFACE SOIL FOUND IN A DEPTH OF NOT LESS THAN 4". SATISFACTORY TOPSOIL IS REASONABLY FREE OF SUBSOIL, CLAY LUMPS, STONES, AND OTHER OBJECTS OVER 2" IN DIAMETER, AND WITHOUT WEEDS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. STRIP TOPSOIL TO WHATEVER DEPTHS ENCOUNTERED IN A MANNER TO PREVENT

INTERMINGLING WITH UNDERLYING SUBSOIL OTHER OBJECTIONABLE MATERIAL. REMOVE HEAVY GROWTHS OF GRASS FROM AREAS BEFORE STRIPPING. WHERE TREES ARE INDICATED TO BE LEFT STANDING, STOP TOPSOIL STRIPPING A SUFFICIENT DISTANCE TO PREVENT DAMAGE TO MAIN ROOT SYSTEM. DISPOSE OF UNSUITABLE OR EXCESS TOPSOIL SAME AS WASTE MATERIAL, HEREIN SPECIFIED. BURNING WILL NOT BE PERMITTED ON PROJECT SITE.

ALL EXISTING STRUCTURES, UTILITIES AND OTHER OBSTACLES IN CONFLICT WITH THE PROPOSED FACILITY SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. SEE OTHER UTILITY AND MISCELLANEOUS NOTES CONCERNING REMOVAL. ALLOW TESTING SERVICES TO INSPECT AND APPROVE SUBGRADE AND FILL LAYERS BEFORE ATTENTION IS CALLED TO THE FACT THAT THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO OBTAIN LOCATIONS OF ALL EXISTING UTILITIES OR DBSTRUCTIONS WHICH HE MAY ENCOUNTER DURING CONSTRUCTION. AFTER LOCATION OF UTILITIES BY THE APPROPRIATE UTILITY COMPANY, IT IS THE CONTRACTOR'S LIABILITY TO PROTECT ALL SUCH UTILITY LINES, INCLUDING SERVICE LINES AND APPURTENANCES, AND TO REPLACE AT HIS OWN EXPENSE ANY WHICH MAY BE DAMAGED BY THE CONTRACTOR'S EQUIPMENT OR FORCES DURING CONSTRUCTION. TO PROTECT PERSON FROM INJURY AND TO AVOID PROPERTY DAMAGE, ADEQUATE BARRICADES, CONSTRUCTION SIGNS, TORCHES, RED LANTERNS AND GUARDS AS REQUIRED SHALL BE PLACED AND MAINTAINED DURING THE PROGRESS OF THE CONSTRUCTION WORK. ADEQUATE PROVISION SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION, AND THE STRUCTURES WHICH MAY HAVE BEEN DISTURBED SHALL BE SATISFACTORILY RESTORED BY THE CONTRACTOR.

EXCAVATING, FILLING AND GRADING

ALL ON AND OFF-SITE WORK INCLUDED CONSISTS OF BUT IS NOT LIMITED TO THE FOLLOWING:

ALL ON AND OFF-SITE PREPARATION WORK FOR EXCAVATION, PIPE BED PREPARATION AND BACKFILL FOR UNDERGROUND UTILITIES. COMPACTION OF BACKFILL.

REMOVAL OF ALL EXCESS OR UNUSABLE MATERIAL.

APPROVAL REQUIRED: ALL FILL MATERIAL SHALL BE SUBJECT TO APPROVAL OF THE ALL ON-SITE FILL MATERIAL SHALL BE SOIL-ROCK MIXTURE WHICH IS FREE FROM ORGANIC MATTER (LESS THAN 3% BY IGNITION), AND OTHER DELETERIOUS SUBSTANCE. IT

SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX (6) INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS BY DRY WEIGHT, SHALL BE LARGER THAN 2 AND 1/2 INCHES IN GREATEST DIMENSION. ALL IMPORTED FILL MATERIAL SHALL MEET THE REQUIREMENTS OF ON—SITE FILL MATERIAL AND SHALL IN ADDITION, BE PREDOMINANTLY GRANULAR WITH A MAXIMUM PARTICLE SIZE OF TWO (2) INCHES AND A PLASTICITY INDEX OF 12 OR LESS.

ALL ON—SITE FILL MATERIAL USED FOR THE REQUIREMENTS OF ARTICLE ABOVE. ON-SITE FILL MATERIAL USED FOR TRENCH AND STRUCTURAL BACKFILL SHALL MEET ALL IMPORTED COHESIONLESS MATERIAL USED FOR TRENCH AND STRUCTURAL BACKFILL SHALL BE FREE FROM ORGANIC SUBSTANCE (LESS THAN 3% BY IGNITION) AND OTHER DELETERIOUS MATTER, SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER. PRIOR TO ALL WORK OF THIS SECTION, CONTRACTOR IS TO BECOME THOROUGHLY FAMILIAR WITH THE SITE, THE SITE CONDITIONS, AND ALL PORTIONS OF THE WORK,

DO NOT ALLOW OR CAUSE ANY OF THE WORK PERFORMED OR INSTALLED TO BE COVERED JP OR ENCLOSED BY WORK OF THIS SECTION PRIOR TO ALL REQUIRED INSPECTIONS, AFTER THE WORK HAS BEEN COMPLETELY TESTED, INSPECTED AND APPROVED, MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO RESTORE THE WORK TO THE CONDITION IN WHICH IT WAS FOUND AT THE TIME OF UNCOVERING, ALL AT NO ADDITIONAL COST TO

FOR SETTING AND ESTABLISHING FINISH ELEVATIONS AND LINES, SECURE THE SERVICES OF A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR ACCEPTABLE TO THE OWNER, CAREFULLY PRESERVE ALL DATA AND ALL MONUMENTS SET BY THE CIVIL ENGINEER OR LAND SURVEYOR, AND IF DISPLACED OR LOST, IMMEDIATELY REPLACE TO THE APPROVAL OF THE OWNER AND AT NO ADDITIONAL COST TO THE OWNER.

PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC. NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL EARTHWORK AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. ALL OFF—SITE WORK INCLUDED CONSISTS OF BUT IS NOT LIMITED TO THE FOLLOWING: THIS WORK CONSISTS OF GRADING IN ORDER TO ACHIEVE FINISHED ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS.

ALL GRADED SURFACES SHALL BE SMOOTH AND UNIFORM, WITHOUT ABRUPT CHANGES IN SLOPE OR GRADE. AREAS TO BE COVERED WITH PAVING SHALL BE FINE GRADED TO THE REQUIRED ELEVATIONS AND SLOPES. FINISHED SURFACES IN ALL OTHER AREAS MAY VARY UP TO 0.1 FEET FROM THE REQUIRED ELEVATIONS. PERFORM EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE REQUIREMENTS OF

GOVERNING AUTHORITIES HAVING JURISDICTION. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 120 OF THE STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

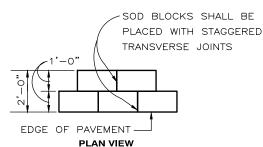
EMPLOY, AT CONTRACTOR'S EXPENSE, DESIGN LABORATORY TO PERFORM SOIL TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. SUBMIT FOLLOWING REPORTS DIRECTLY TO ENGINEER AND COPIES TO CITY ENGINEERING DEPARTMENT FROM THE TESTING SERVICES, WITH COPY TO THE CONTRACTOR.

TEST REPORTS ON BORROW MATERIAL.

FALLING WITHIN THIS SECTION.

FIELD DENSITY TEST REPORTS. ONE OPTIMUM MOISTURE-MAXIMUM DENSITY CURVE FOR EACH TYPE OF SOIL

WHERE REQUIRED, THE SITE SHALL BE EXCAVATED TO THE GRADES COURSE, EXCAVATED MATERIAL THAT IS SUITABLE SHALL BE USED IN THE FILL SECTIONS OF THE SITE. NO SUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE. ANY EXCESS SUITABLE MATERIAL SHALL BE PLACED AT THE DIRECTION OF THE ENGINEER. EXCAVATION FOR MANHOLES, CATCH BASINS, AND OTHER ACCESSORIES SHALL BE SUFFICIENT TO LEAVE AT LEAST 12 INCHES IN THE CLEAR BETWEEN THEIR OUTER SURFACES AND THE EMBANKMENT OF TIMBER THAT MAY BE USED TO PROTECT THEM.

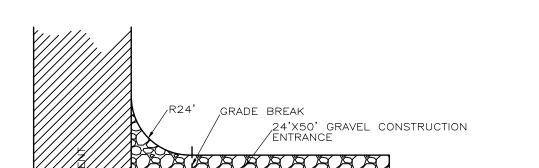


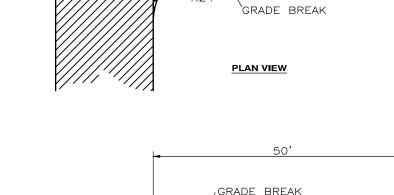
THIS WORK CONSISTS OF SODDING AREAS CLEARED DURING CONSTRUCTION AND NOT PAVED, OR AS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS. ALL MATERIAL AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 570, 571, 573, OR 575 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS,

USE ST. AUGUSTINE GRASS (FLORATAM) SOD. THE SOD SHALL BE LIVE, FRESH AND UNINJURED AT THE TIME OF PLANTING AND SHALL HAVE A THICK MAT OF ROOTS WITH ENOUGH ADHERING SOIL TO ASSURE GROWTH. APPLY SOD WITHIN 72 HOURS OF CUTTING

PREPARE THE GROUND BY LOOSENING THE SOIL. PLACE SOD ON THE PREPARED SOIL WITH EDGES IN CLOSE CONTACT. STAGGER THE SOD PIECES SO AS TO AVOID A CONTINUOUS DOWNHILL SEAM. TAMP THE OUTER EDGES OF THE SODDED AREA TO KEEP SOD CONTINUOUSLY MOIST TO A DEPTH BELOW THE ROOT ZONE FOR THREE WEEKS

> SODDING DETAIL NOT TO SCALE





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EXISTING PAVEMENT

1. GRAVEL CONSTRUCTION ENTRANCE SHALL BE 24' WIDE AND 50'

PROFILE VIEW

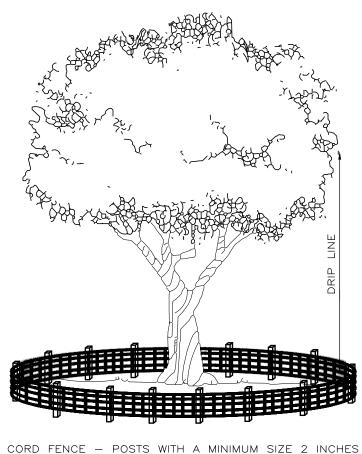
2. CONSTRUCTION ENTRANCE SHALL BE 6" OF #57 STONE OVERLAYING

FILTER FABRIC

- 3. ALGEBRAIC DIFFERENCE OF SLOPE FROM EXISTING ROAD AND SLOPE FROM EDGE OF PAVEMENT TO GRADE BREAK SHALL NOT EXCEED
- 4. CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS.
- 5. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR BASIN.

CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



SQUARE OR 2 INCHES IN DIAMETER SET SECURELY IN GROUND AND PROTRUDING AT LEAST 4 FEET ABOVE THE GROUND SHALL BE PLACED AT THE LIMITS OF CLEARING WITH ORANGE CONSTRUCTION MESH FENCING RUNNING

> TREE BARRIER DETAIL NOT TO SCALE

SEEDING RATE ZONES

	ZONE	Ξ Ι		ZONE II			
COA	ASTAL	INL	AND	COAS	TAL	INLAND	
MAR. TO NOV.	NOV. TO MAR.	MAR. TO OCT.	OCT. TO MAR.	FEB. TO DEC.	DEC. TO FEB.	FEB. TO DEC.	DEC. TO FEB.
15	15	10	15	15	15	10	15
		30	30			30	30
20		20		20		20	
	20		20		20		20
35	35	60	65	35	35	60	65
	MAR. TO NOV.	COASTAL MAR. NOV. TO NOV. TO MAR. 15 15 20 20	MAR. NOV. MAR. TO NOV. MAR. OCT. 15 15 10 30 20 20	COASTAL INLAND MAR. NOV. TO TO OCT. TO MAR. 15 15 10 15 30 30 20 20 20	COASTAL INLAND COAS MAR. NOV. MAR. OCT. FEB. TO TO OCT. MAR. DEC. 15 15 10 15 15 30 30 20 20 20 20 20 20 20	COASTAL INLAND COASTAL MAR. NOV. MAR. OCT. FEB. DEC. TO TO TO TO DEC. FEB. 15 15 10 15 15 15 30 30 30 30 30 20 20 20 20 20 20 20 20 20	COASTAL INLAND COASTAL INLAND MAR. NOV. MAR. OCT. FEB. DEC. FEB. TO TO TO TO DEC. FEB. DEC. 15 15 10 15 15 15 10 30 30 30 30 30 20 20 20 20

GENERAL NOTES

1. SPECIAL ATTENTION IS TO BE DIRECTED TO THE CONSTRUCTION OF THE REQUIRED

- 1" DROP-OFF AT EDGE OF PAVEMENT. 2. FERTILIZE ENTIRE UNPAVED SHOULDER AND FRONT SLOPE TO TOE OF SLOPE OR
- 3. TOPSOIL OBTAINED FROM BORROW PITS OR OTHER SOURCES MAY BE USED IN LIEU OF EXCAVATED TURF AND TOPSOIL WHEN ECONOMICALLY FEASIBLE. NO ADDITIONAL PAYMENT WILL BE MADE FOR SUBSTITUTING TOPSOIL FOR EXCAVATED TURF OR

TOPSOIL: IF THE QUANTITY OF EXISTING STORED OR EXCAVATED TOPSOIL IS INADEQUATE FOR PLANTING, SUFFICIENT ADDITIONAL TOPSOIL SHALL BE FURNISHED. TOPSOIL FURNISHED SHALL BE A NATURAL, FERTILE, FRIABLE SOIL, POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE VICINITY. IT SHALL BE OBTAINED FROM NATURALLY WELL-DRAINED AREAS.

TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND FREE FROM JOHNSON GRASS (SORGHUM HALEPENSE), NUT GRASS (CYPERUS ROTUNDUS) AND OBJECTIONABLE WEEDS

GROUND LIMESTONE (DOLOMITE) CONTAINING NOT LESS THAN 85 PERCENT OF TOTAL CARBONATES, AND SHALL BE GROUND TO SUCH A FINENESS THAT 50 PERCENT WILL PASS A 100—MESH SIEVE AND 90 PERCENT WILL PASS A 20—MESH SIEVE. 16-16-16 FORMULATION OF WHICH 60 PERCENT OF THE NITROGEN IS IN THE

UREA—FORMALDEHYDE FORM AND SHALL CONFORM TO THE APPLICABLE STATE FERTILIZER LAWS. IT SHALL BE GRANULATED SO THAT 80 PERCENT IS HELD ON A 16—MESH SCREEN, UNIFORM IN COMPOSITION, DRY AND FREE—FLOWING. MULCH: CLEAN HAY OR FREE AREAS TO BE GRASSED SHALL BE GRADED TO REMOVE DEPRESSIONS, UNDULATIONS, AND IRREGULARITIES IN THE SURFACE BEFORE GRASSING.

PLACING TOPSOIL: AREAS TO BE GRASSED SHALL HAVE A MINIMUM TOPSOIL OVER OF TWO INCHES. TOPSOIL SHALL NOT BE PLACED WHEN THE SUBGRADE IS EXCESSIVELY WET, EXTREMELY DRY OR IN A CONDITION OTHERWISE DETRIMENTAL TO THE PROPOSED PLANTING TILLAGE: THE AREA TO BE GRASSED SHALL BE THOROUGHLY TILLED TO A DEPTH OF FOUR INCHES USING A PLOW AND DISC HARROW OR ROTARY TILLING MACHINERY UNTIL A

SUITABLE BED HAS BEEN PREPARED AND NO CLODS OR CLUMPS REMAIN LARGER THAN

APPLICATION OF LIME: THE PH OF THE SOIL SHALL BE DETERMINED. IF THE PH IS BELOW 5.0, SUFFICIENT LIME SHALL BE ADDED TO PROVIDE A PH BETWEEN 5.5 AND 6.5. THE LIME SHALL BE THOROUGHLY INCORPORATED INTO THE TOP THREE TO FOUR INCHES OF THE SOIL. LIME AND FERTILIZER MAY BE APPLIED IN ONE OPERATION. APPLICATION OF FERTILIZER: FERTILIZER SHALL BE APPLIED AT THE RATE OF 6 POUNDS PER 1,000 SQUARE FEET AND SHALL BE THOROUGHLY INCORPORATED INTO THE TOP

THREE TO FOUR INCHES OF SOIL. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AS SPECIFIED HEREIN. IMMEDIATELY BEFORE SEEDS ARE SOWN AND AFTER FERTILIZER AND LIME ARE APPLIED, THE GROUND SHALL BE SCARIFIED AS NECESSARY AND SHALL BE RAKED UNTIL HE SURFACE IS SMOOTH, FRIABLE, AND OF UNIFORMLY FINE TEXTURE. AREAS TO BE GRASSED SHALL BE

SEEDED EVENLY WITH A MECHANICAL SPREADER, RAKED LIGHTLY, ROLLED WITH A 200-POUND ROLLER, AND WATERED WITH A FINE SPRAY. SEEDS SHALL BE APPLIED AT THE FOLLOWING RATE:

SEEDS RATE OF APPLICATION

1-1/2 INCHES IN DIAMETER.

BERMUDA 6 LBS./1000 SQ.FT SEEDED AREAS SHALL BE MULCHED AT THE RATE OF NOT LESS THAN 1-1/2" LOOSE MEASUREMENT OVER ALL SEEDED AREAS. SPREAD BY HAND, BLOWER, OR OTHER SUITABLE EQUIPMENT. MULCH SHALL BE CUT INTO THE SOIL WITH EQUIPMENT CAPABLE OF CUTTING THE MULCH UNIFORMLY INTO THE SOIL. MULCHING SHALL BE DONE WITHIN 24 OURS OF

THE TIME SEEDING IS COMPLETED. AFTER SEEDING AND MULCHING, A CULTIPACKER, TRAFFIC ROLLER, OR OTHER SUITABLE EQUIPMENT SHALL BE USED FOR ROLLING THE GRASSED AREAS. AREAS SHALL THEN BE WATERED WITHIN A FINE SPRAY.

ALL AREAS TO BE GRASSED SHALL BE PROTECTED AGAINST EROSION AT ALL TIMES. FOR PROTECTION DURING WINTER MONTHS (NOVEMBER 1ST THRU MARCH 31ST) ITALIAN RYE GRASS SHALL BE PLANTED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET ON ALL AREAS WHICH ARE NOT PROTECTED BY PERMANENT GRASS.

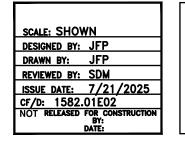
SEEDING DETAIL

NOT TO SCALE

PERMIT PURPOSES ONLY

CONSTRUCTION DETAILS GRAND OAKS SUBDIVISION

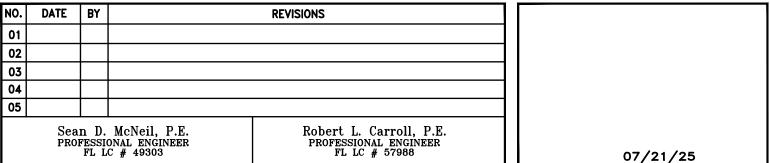
7TH & SENECA CALLAWAY FLORIDA





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Professional Engineering Consultants



SITE DRAINAGE

ALL OFF-SITE AND ON-SITE WORK INCLUDED CONSISTS OF BUT IS NOT LIMITED TO THE EXCAVATION, BEDDING, FILTER MATERIAL AND BACKFILL FOR ALL STORM SEWER, SUBSURFACE DRAINS AND DRAINAGE STRUCTURES. COMPLETE INSTALLATION OF ALL STORM SEWER, SUBSURFACE DRAINS, CATCH BASINS, UNCTION BOXES, MANHOLES, ETC., INCLUDING ALL RELATED FITTINGS, JOINTS COVERS,

ANY WORK WITHIN STREET OR HIGHWAY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL OF THESE GOVERNING AUTHORITIES HAVE BEEN NOTIFIED. POLYVINYL CHLORIDE (PVC), FOR PIPE UP TO AND INCLUDING TEN INCHES (10") IN DIAMETER, SHALL CONFORM TO ASTM D3034 SDR 35 WITH ELASTOMERIC GASKET JOINTS

REINFORCED CONCRETE PIPE, FOR PIPE TWELVE INCHES (12") IN DIAMETER AND UP, SHALL CONFORM TO ASTM C-76, CLASS IV OR AASHTO M-170 WITH BELL AND SPIGOT OR TONGUE AND GROOVE COMPRESSION JOINT CONFORMING TO ASTM C-443. MANHOLES, CATCH BASINS, ETC. SHALL BE SIZE AND TYPE INDICATED ON THE DRAWINGS AND REINFORCED PRECAST CONCRETE MANHOLE SECTIONS INCLUDING CONCENTRIC OR ECCENTRIC CONES AND GRADE RINGS SHALL BE 4000 PSI CONCRETE AND CONFORM TO ASTM C478 OR AASHTO M-199. SECTIONS SHALL BE COMPLETE WITH 3/4" ROUND CAST IN PLACE

BRICK SHALL BE SOUND, HARD BURNED THROUGHOUT AND OF UNIFORM SIZE AND QUALITY AND SHALL BE IN ACCORDANCE WITH ASTM C-32, GRADE MS OR MM. CONCRETE MASONRY SHALL BE SOLID PRECAST SEGMENTAL CONCRETE MASONRY UNITS

IRON CASTINGS SHALL CONFORM TO ASTM A-48, CLASS 30. BEARING SURFACES BETWEEN CAST IRON FRAMES, COVERS AND GRATES SHALL BE MACHINED, FITTED TOGETHER AND MATCH MARKED TO PREVENT ROCKING.

SYSTEM IDENTIFYING LETTER 2" HIGH SHALL BE STAMPED OR CAST INTO ALL COVERS SO CASTINGS SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS, INC. NEENAH FOUNDRY COMPANY, VULCAN FOUNDRY COMPANY OR EQUAL. MANHOLE STEPS FOR BRICK OR CONCRETE MASONRY STRUCTURES SHALL BE CAST IRON

ASPHALT COATED, NEENAH FOUNDRY COMPANY "R-1980-E" OR EQUAL. CONCRETE AND MASONRY MATERIALS FOR CONSTRUCTION OF STORM DRAINAGE STRUCTURES PORTLAND CEMENT SHALL BE STANDARD BRAND OF PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II.

FINE AND COARSE AGGREGATES FOR CONCRETE SHALL BE PER ASTM C-33. AGGREGATES SHALL BE WELL GRADED FROM FINE TO COARSE WITHIN LIMITS SPECIFIED IN ASTM C-33MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE 3/4". AGGREGATE FOR CEMENT MORTAR SHALL BE CLEAN, SHARP SAND CONFORMING TO ASTM C-144. GRADE SAND FROM COARSE TO FINE WITH 100% PASSING NO. 8 SIEVE, AND NOT OVER 10 TO 30% PASSING NO. 50 SIEVE. HYDRATED LIME SHALL COMPLY WITH ASTM C-207,

TYPE S. WATER SHALL BE CLEAN AND FREE FROM DELETERIOUS MATERIALS. ALL MATERIAL USED FOR CONCRETE AND THE DESIGN OF ALL CONCRETE MIXES SHALL CONFORM WITH THE RECOMMENDATIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI

ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL DEVELOP A 28-DAY COMPRESSIVE JOINT SEALANT SHALL BE HOT LAID BITUMINOUS SEALER.

RIP RAP SHALL BE SOUND, TOUGH DURABLE ROCK OR BROKEN CONCRETE AS APPROVED BY THE GEOTECHNICAL ENGINEER. RIP RAP SHALL BE AT LEAST EIGHT INCH (8") IN ONE DIMENSION AN SHALL HAVE A VOLUME OF NOT LESS THAN J1/3 CUBIC FOOT. SMALLER PIECES PERMITTED FOR FILLING VOIDS.

REINFORCING STEEL FOR CONCRETE SHALL BE INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 40. WELDED WIRE MESH SHALL CONFORM TO ASTM DESIGNATION A185 FOR SMOOTH WIRE AND ASTM A497 FOR DEFORMED WIRE. FORMS FOR FOUNDATIONS AND OTHER CONCRETE WORK SHALL BE WOOD. FORMS SHALL BE OF SUFFICIENT STRENGTH TO PREVENT DEFORMATION UNDER LOAD AND TIGHT ENOUGH TO PREVENT LEAKAGE. FOUNDATIONS MAY BE POURED AGAINST EARTH WHERE CONDITIONS

ALL REINFORCEMENT SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH ACI 318-77. WELDED WIRE MESH SHALL BE LAPPED 6-INCHES AT ALL EDGES. THE MIXING, PLACING, CURING AND FINISHING OF CONCRETE SHALL COMPLY WITH ACI 304 AND ACI 318. ALL EXPOSED SURFACES SHALL BE GIVEN A HARD STEEL TROWEL FINISH WITH NO TROWEL MARKS REMAINING. NO CEMENT SHALL BE DUSTED ON THE SURFACE. ALL CONCRETE SHALL BE CURED BY COATING WITH A CLEAR CURING NO CEMENT CONFORMING TO ASTM C—304, OR BY KEEPING IT WET FOR AT LEAST SIX DAYS AFTER POURING. AFTER THE FORMS ARE STRIPPED, ALL EXPOSED CONCRETE SURFACES SHALL BE POINTED AS NEEDED

CONCRETE, UNLESS OTHERWISE NOTED, SHALL HAVE COMPRESSIVE STRENGTH AFTER 28 DAYS OF 3000 PSI MINIMUM. MIX SHALL BE SO PROPORTIONED TO PROVIDE A MINIMUM OF 517 POUNDS OF CEMENT PER CUBIC YARD. CONCRETE FILL BELOW GRADE FOR PIPE CRADLES FTC. MAY BE 2500 PSI AT 28 DAYS. CONCRETE, WHERE EXPOSED TO THE WEATHER, SHALL BE AIR ENTRAINED. AIR ENTRAINMENT SHALL BE ACCOMPLISHED BY THE USE OF ADDITIVES CONFORMING TO ASTM C-260. AIR CONTENT SHALL BE 6% + 1%. ADDITIVE SHALL BE USED STRICTLY IN ACCORDANCE WITH

READY-MIX CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-94. CEMENT MORTAR SHALL BE AS SPECIFIED HEREINAFTER. USE METHODS OF MIXING MORTAR MATERIALS CAN BE CONTROLLED AND ACCURATELY MAINTAINED DURING WORK PROGRESS. MORTAR SHALL NOT BE MIXED IN GREATER QUANTITIES THAN SATISFACTORY WORKABILITY. RETEMPERING OF MORTAR IS NOT PERMITTED.

MANUFACTURER'S PRINTED DIRECTIONS.

MORTAR FOR LAYING BRICK OR CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-270, TYPE M, AVERAGE COMPRESSIVE STRENGTH 2500 AT 28 DAYS. MORTAR MIX SHALL BE PROPORTIONED BY VOLUME. MORTAR FOR PARGING SHALL CONSISTS OF ONE PART PORTLAND

MORTAR FOR GROUTING OF RIP RAP SHALL CONSIST OF ONE PART PORTLAND CEMENT AND THREE PARTS SAND. STORM WATER SEWERS: STORM SEWERS SHALL BE INSTALLED IN LOCATIONS AND OF SIZES INDICATED ON DRAWING.

LAY PIPE, EMBED IT FIRMLY TO REQUIRED LINE AND GRADE WITH BELLS OF GROOVE END UP-GRADE. FIT ENDS TOGETHER, EXCAVATE BELL HOLES SO THAT SEWER WILL HAVE SMOOTH AND UNIFORM INVERT THROUGHOUT ITS LENGTH.

CORRUGATED METAL PIPE SHALL BE PLACED ON A FLAT BOTTOM TRENCH WITH HAUNCHES SOLIDLY SUPPORTED BY TAMPED BEDDING MATERIAL. WHERE GROUND IS FOUND UNSUITABLE TO SUPPORT PIPE, PROVIDE CONCRETE CRADLES. DEPOSIT CONCRETE FULL WIDTH OF TRENCH 4" DEEP MINIMUM TO BOTTOM OF PIPE, REINFORCE CONTINUOUSLY WITH TWO (2) NO. 4 REINFORCING BARS. BEFORE CONCRETE IS SET, EMBED PIPE EVENLY, DEPOSIT REMAINDER OF CONCRETE TO CENTERLINE OF PIPE AND

TAMP IN A MANNER TO AVOID DISTURBING PIPE. WHERE STORM SEWER CROSSES A SANITARY SEWER OR WATER LINE AND THE STORM SEWER IS WITHIN ONE AND A HALF (1-1/2) FEET OF THE SANITARY SEWER PIPE OR WATER LINE, THE INTERSECTION OF THE PIPE OR LINE SHALL BE EMBEDDED IN CONCRETE FOR A DISTANCE OF FIVE FEET (5') EACH WAY FROM CENTERLINE OF INTERSECTION.

PROVIDE POURED CONCRETE FOUNDATIONS FOR DRAINAGE STRUCTURES PRECAST CONCRETE BASE MAY BE USED WHERE APPROVED BY THE GEO-TECHNICAL ENGINEER. PRECAST CONCRETE BASE MUST BE SET LEVEL ON SAND CUSHION OF NOT LESS THAN 2" NOR MORE THAN 4".

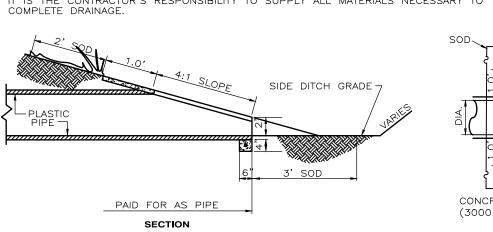
MANHOLES AND CATCH BASINS SHALL BE CONSTRUCTED OF BRICK, CONCRETE MASONRY OR PRECAST CONCRETE WITH CAST IRON FRAMES, COVERS AND MANHOLE STEPS, AS INDICATED ON DRAWINGS AND SPECIFIED HEREIN.

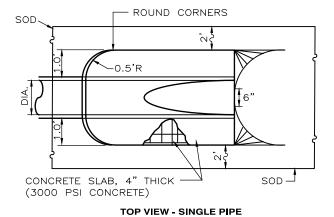
RIP RAP SHALL BE LAID OVER FILTER FABRIC FROM THE BOTTOM UPWARD, STONES SHALL BE LAID BY HAND WITH EIGHT (8") INCH MINIMUM DIMENSION PERPENDICULAR TO GRADE WITH WELL BROKEN JOINTS, COMPACTED AS IT GOES, TRUE TO LINE. ALL JOINTS SHALL BE FILLED WITH CEMENT MORTAR SURFACE OF STONE TO BE EXPOSED. CLEAN JOINTS WITH SIRE

BEFORE BACKFILLING AROUND DRAINAGE STRUCTURES, ALL FORMS, TRASH AND DEBRIS SHALL BE REMOVED AND CLEARED AWAY. SELECTED EXCAVATED MATERIAL SHALL BE PLACED SYMMETRICALLY ON ALL SIDES IN EIGHT INCH (8") MAXIMUM LAYERS; EACH LAYER SHALL BE MOISTENED AND COMPACTED WITH MECHANICAL OR HAND TAMPERS. INFILTRATION OF THE STORM DRAINAGE SYSTEM SHALL NOT EXCEED 0.60 GALLONS PER INCH OF INTERNAL PIPE DIAMETER PER ONE HUNDRED FEET (100') OF PIPELINE PER HOUR WITH A MAXIMUM HYDROSTATIC HEAD AT THE CENTER LINE OF THE PIPE OF TWENTY FIVE

CATCH BASIN FRAMES AND GRATINGS: ASPHALT COATED GRAY CAST IRON, ANSI/ASTM A 48, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUPPLY ALL MATERIALS NECESSARY TO

FEET (25'), OR AS REQUIRED BY GOVERNING CODE AUTHORITIES.





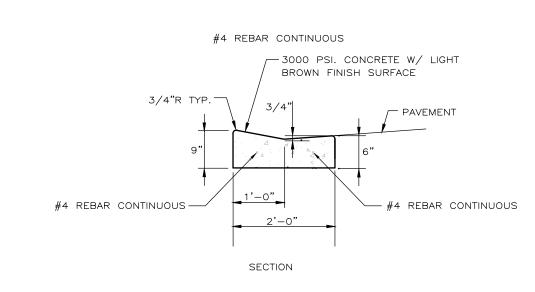
3'-4" RECOMMENDED MAXIMUM PIPE SIZE 2-1/8"_¬ 5-3/4"__ ~5-3/4" 2'-0"-GRATE -SEE INDEX 201 #4 BARS@

GENERAL NOTES THESE INLETS ARE SUITABLE FOR BICYCLE AND PEDESTRIAN AREAS AND ARE TO BE USED IN ICHES, MEDIANS AND OTHER AREAS SUBJECT TO INFREQUENT TRAFFIC LOADINGS BUT ARE NOT TO BE PLACED IN AREAS SUBJECT TO ANY HEAVY WHEEL LOADS. 2. INLETS SUBJECT TO MINIMAL DEBRIS SHOULD BE CONSTRUCTED WITHOUT SLOTS. WHERE DEBRIS IS A PROBLEM INLETS SHOULD BE CONSTRUCTED WITH SLOTS. SLOTTED INLETS LOCATED WITHIN ROADWAY CLEAR ZONES AND IN AREAS ACCESSIBLE TO PEDESTRIANS SHALL HAVE TRAVERSABLE SLOTS. THE TRAVERSABLE SLOT MODIFICATION IS NOT ADAPTABLE TO INLET TYPE H. SLOTS MAY BE CONSTRUCTED AT EITHER OR BOTH ENDS AS SHOWN ON PLANS. 3. STEEL GRATES ARE TO BE USED ON ALL INLETS WHERE BICYCLE TRAFFIC IS ANTICIPATED. STEEL GRATES ARE TO BE USED ON ALL INLETS WITH TRAVERSABLE SLOTS. EITHER CAST IRON OR STEEL GRATES MAY BE USED ON INLETS WITHOUT SLOTS WHERE BICYCLE TRAFFIC IS NOT ANTICIPATED. EITHER CAST IRON OR STEEL GRATES MAY BE USED ON ALL INLETS WITH NON-TRAVERSABLE

SLOTS. SUBJECT TO THE SELECTION DESCRIBED ABOVE, WHEN ALTERNATE G GRATE IS SPECIFIED IN THE PLANS, EITHER THE STEEL GRATE, HOT DIPPED GALVANIZED AFTER FABRICATION, OR THE CAST IRON GRATÉ MAY BE USED, UNLESS THE PLANS STIPULATE THE PARTICULAR TYPE. 4. RECOMMENDED MAXIMUM PIPE SIZES SHOWN ARE FOR CONCRETE PIPE. PIPE SIZES LARGER THAN THOSE RECOMMENDED MUST BE CHECKED FOR FIT. 5. ALL EXPOSED CORNERS AND EDGES OF CONCRETE ARE TO CHAMFERED 3/4". 6. PAVEMENT TO BE USED ON INLETS WITHOUT SLOTS AND INLETS WITH NON—TRAVERSABLE SLOTS ONLY WHEN CALLED FOR IN THE PLANS; BUT REQUIRED ON ALL TRAVERSABLE SLOT INLETS. COST TO BE INCLUDED IN CONTRACT UNIT PRICE FOR INLETS. QUANTITIES SHOWN ARE FOR INFORMATION

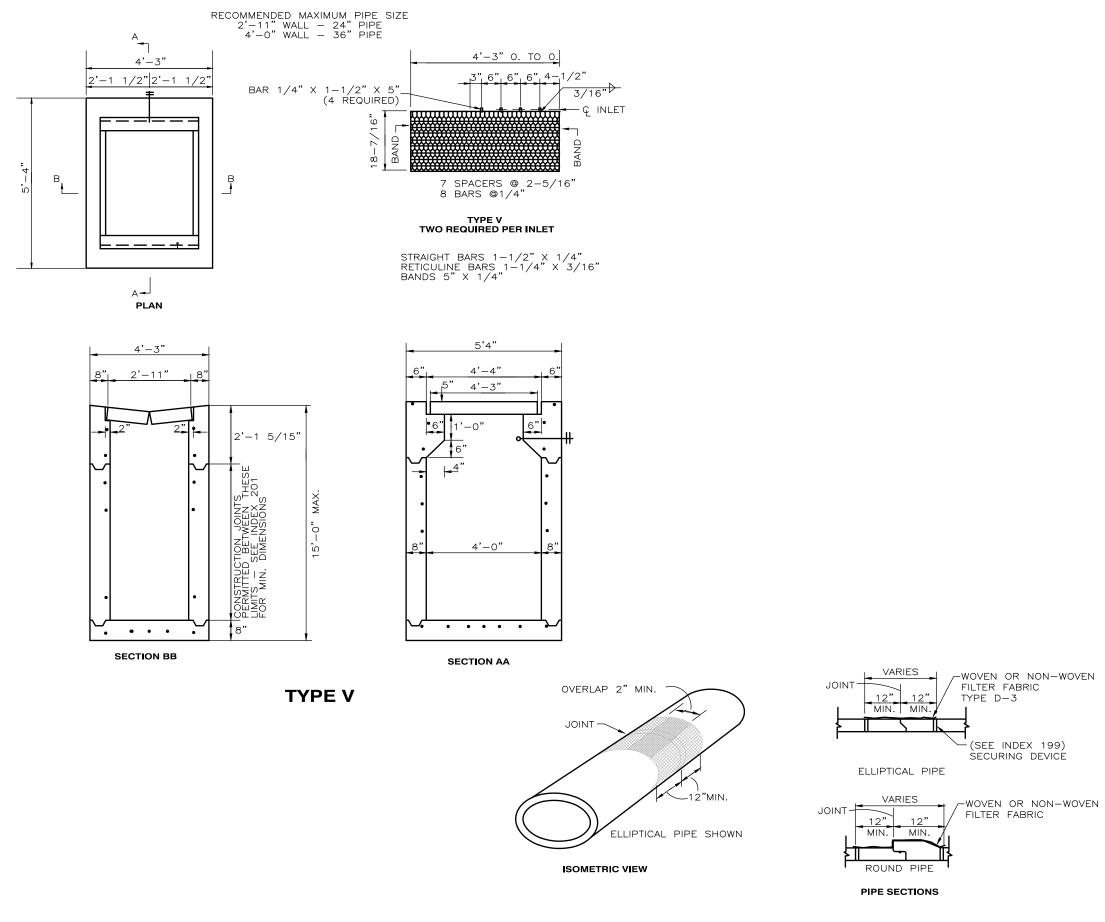
7. TRAVERSABLE SLOTS CONSTRUCTED IN EXISTING INLETS SHALL BE PAID FOR AS INLETS PARTIAL, AND SHALL INCLUDE THE COST FOR SLOT OPENINGS, PAVING AND ANY REQUIRED REPLACEMENT 8. SODDING TO BE USED ON ALL INLETS NOT LOCATED IN PAVED AREAS AND PAID FOR UNDER CONTRACT UNIT PRICE FOR SODDING, SY. 9. FOR SUPPLEMENTARY DETAILS SEE INDEX NO. 201.

FDOT TYPE "C" INLET DETAIL



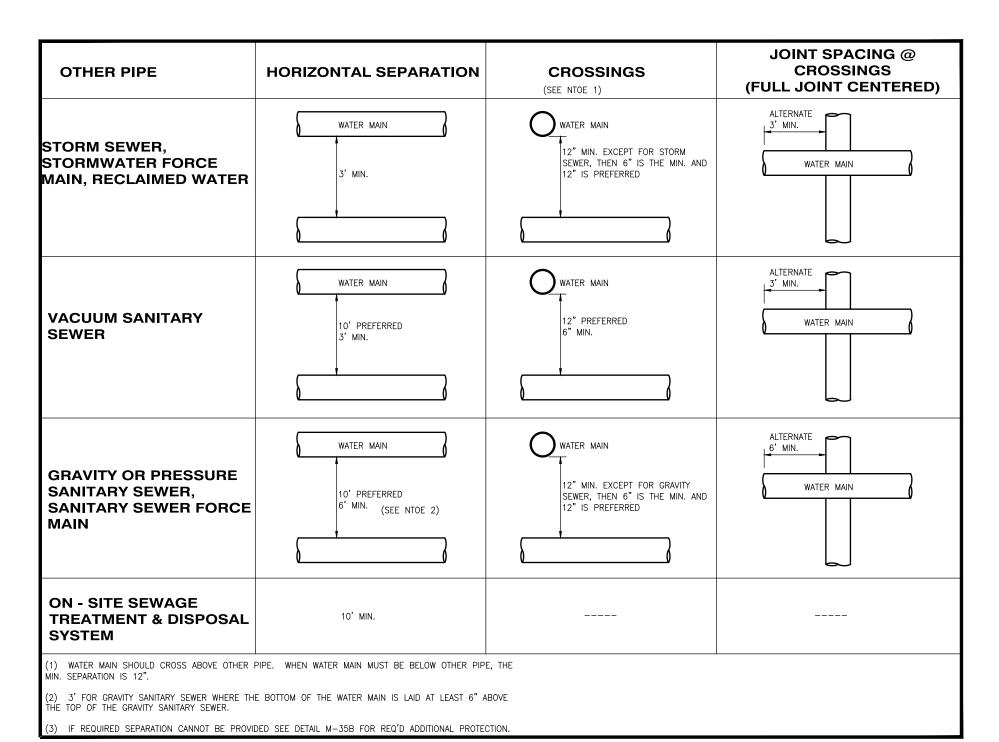
1/2" EXPANSION JOINT TO BE PLACED BETWEEN ALL CONCRETE PAVEMENT AND TYPE V CURB AND SEALED WITH JOINT SEAL. CURB SHALL BE FORMED IN 20FT. SECTIONS OR LESS.

TYPE V CURB DETAIL NOT TO SCALE

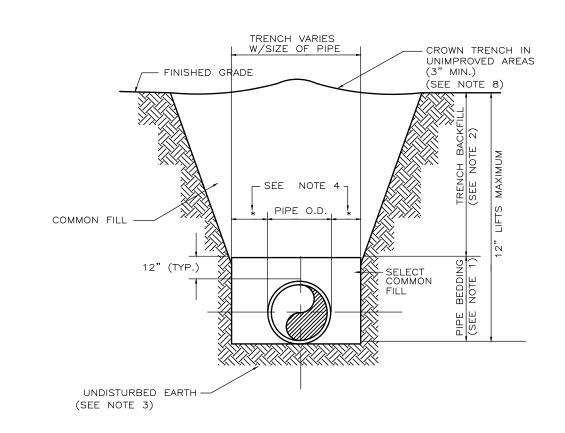


COST OF FILTER FABRIC JACKET TO BE INCLUDED IN COST OF PIPE CULVERTS. FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN

FILTER FABRIC JACKET DETAIL



STANDARD - MAIN **CROSSING/SEPARATION DETAIL**



- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (6" LIFTS) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN
- ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED
- 4. (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER. 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
- 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW
- 7. REFER TO SECTION 32.5 OF THE MANUAL FOR SHEETING AND BRACING IN EXCAVATIONS.
- 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY RIGHT—OF—WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT—OF—WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

TRENCHES AND EXCAVATION PITS SHALL NOT BE BACKFILLED UNTIL ALL TESTS AND INSPECTIONS COVERING THE INSTALLATION OF THE STORM DRAINAGE SYSTEM HAVE BEEN ALL TIMBER SHEETING BELOW A PLANE ONE FOOT ABOVE TOP OF PIPE SHALL REMAIN IN PLACE IN ORDER NOT TO DISTURB PIPE GRADING. BEFORE BACKFILLING, REMOVE ALL OTHER SHEETING, BRACING AND SHORING. PIPE TO BE CAREFULLY COMPACTED TO NINETY FIVE PERCENT (95%) OF MAXIMUM DENSITY AS PER ASTM D-1557 UNTIL ONE FOOT (1') OF COVER EXISTS OVER PIPE.

IN STREETS, DRIVES, PARKING LOTS AND OTHER AREAS TO HAVE OR HAVING IMPROVED HARD SURFACES, BACKFILL SHALL BE MATERIAL SPECIFIED AS FOR PIPE BEDDING AND SHALL BE DEPOSITED IN SIX INCH (6"O LOOSE LAYERS AS OPTIMUM MOISTURE CONTENT (+ 2%) AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 WHERE SERVICES OR UTILITY LINES CROSS STREET, BEDDING SHALL BE CARRIED TO FIVE FEET (5") BEHIND THE CURB, OR WHERE SIDEWALKS EXISTS, TO THE SIDE OF SIDEWALK FARTHEST AWAY FROM THE STREET

MATERIAL USED FOR BEDDING SHALL MEET CURRENT RECOMMENDATIONS OF THE PIPE MANUFACTURER AND SHALL BE APPROVED BY THE ENGINEER. THE SPECIFIED COHESIONLESS MATERIAL SHALL BE PLACED IN THE TRENCH SIMULTANEOUSLY ON EACH SIDE OF THE PIPE TO THE FULL WIDTH OF THE TRENCH. MATERIAL WILL BE PLACED IN A MAXIMUM LIFT OF SIX (6) INCHES (COMPACTED DEPTH) TO A MINIMUM DEPTH OF ONE (1) FOOT ABOVE THE CROWN OF THE PIPE.

PERFORM ALL TRENCHING REQUIRED FOR THE INSTALLATION OF UTILITIES AS SHOWN ON PLANS AND SPECIFIED HEREIN. MAKE ALL TRENCHES OPEN VERTICAL CONSTRUCTION WITH SUFFICIENT WIDTH TO PROVIDE FREE WORKING SPACE AT BOTH SIDE OF THE NCH AND AROUND THE INSTALLED ITEMS AS REQUIRED FOR CAULKING, JOINING, BACKFILLING AND COMPACTING.

PROPERLY SUPPORT ALL TRENCHES IN STRICT ACCORDANCE WITH ALL PERTINENT RULES GRADE THE TRENCH BOTTOM TO PROVIDE A SMOOTH, FIRM AND STABLE FOUNDATION FREE OF ROCK POINTS THROUGHOUT THE LENGTH OF THE PIPE. IN AREAS WHERE SOFT, UNSTABLE MATERIALS ARE ENCOUNTERED AT THE SURFACE UPON WHICH COHESIONLESS MATERIAL IS TO BE PLACED, REMOVE THE UNSTABLE MATERIAL AND REPLACE IT WITH MATERIAL APPROVED BY THE ENGINEER, MAKE SUFFICIENT DEPTH TO DEVELOP A FIRM FOUNDATION FOR THE ITEM BEING INSTALLED.

AT EACH JOINT IN PIPE, RECESS THE BOTTOM OF THE TRENCH AS REQUIRED INTO THE FIRM FOUNDATION IN SUCH A MANNER AS TO RELIEVE THE BELL OF THE PIPE OF ALL LOAD AND TO ENSURE CONTINUOUS BEARING OF THE PIPE BARREL ON THE FIRM

ACCURATELY SHAPE ALL PIPE SUBGRADE AND FIT THE BOTTOM OF THE TRENCH TO THE PIPE SHAPE; USE A DRAG TEMPLATE SHAPED TO CONFORM TO THE OUTER SURFACE OF THE PIPE IF OTHER METHODS DO NOT PRODUCE SATISFACTORY RESULTS. SHAPING WILL CONFORM TO THE OUTSIDE OF THE PIPE FOR A DEPTH OF NOT LESS THAN 10% OF THE TOTAL HEIGHT (OUTSIDE DIMENSION) OF THE PIPE.

PIPE TRENCHES SHALL BE EXCAVATED TO A DEPTH THAT WILL INSURE A MINIMUM OF THIRTY INCHES OF COVER LESS OTHERWISE SHOWN ON THE DRAWINGS OR DIRECTED.

BACKFILL OF EARTH AROUND MANHOLES SHALL BE FILLED WITH THOROUGHLY COMPACTED SAND OR GRAVEL AT THE EXPENSE OF THE CONTRACTOR TRENCHES SHALL BE BACKFILLED WITH EXCAVATED MATERIALS, FREE FROM LARGE CLODS OR STONES. BACKFILLED WITH EXCAVATED MATERIALS, FREE FROM LARGE CLODS OR STONES. BACKFILL SHALL BE DEPOSITED IN LAYERS NOT TO EXCEED 6—INCHES (6") IN THICKNESS, MOISTENED, AND COMPACTED TO DENSITY EQUAL TO OR GREATER THAN 95% OF THE MAXIMUM DENSITY OF AASHTO STANDARD METHOD T—99, TO A MINIMUM DEPTH OF 12—INCHES OVER THE PIPE. THE REMAINDER OF THE BACKFILL SHALL BE PLACED IN 8—INCH LAYERS COMPACTED TO 95% MAXIMUM DENSITY UNLESS THE BACKFILL IS BENEATH PAVED OR BUILDING AREAS IN WHICH CASE IT SHALL BE COMPACTED TO

EXCAVATIONS FOR PIPE LAYING OPERATIONS SHALL BE CONSTRUCTED IN A MANNER TO CAUSE THE LEAST INTERRUPTION TO TRAFFIC. WHEN TRAFFIC MUST CROSS OPEN TRENCHES THE CONTRACTOR SHALL PROVIDE SUITABLE BRIDGES.

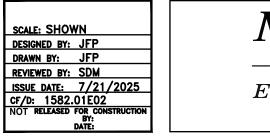
TYPE B BEDDING AND TRENCHING DETAIL

PERMIT PURPOSES ONLY

95% OF A MODIFIED PROCTOR

CONSTRUCTION DETAILS

GRAND OAKS SUBDIVISION 7TH & SENECA CALLAWAY FLORIDA

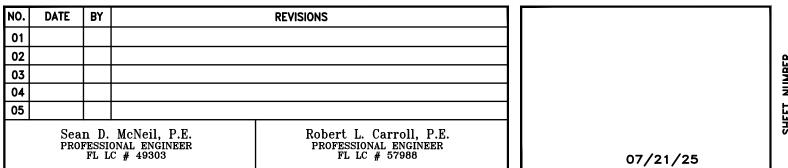




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CONCRETE MITERED END DETAIL

NOT TO SCALE

SITE UTILITIES

MATERIALS: WHERE GROUND IS FOUND UNSUITABLE TO SUPPORT PIPE, PROVIDE CRADLES OF 2500 PSI. CONCRETE FULL WIDTH OF TRENCH WITH TWO NO. 4 REINFORCING BARS CONTINUOUSLY ALONG THE BOTTOM OF PIPE.

BACKFILL, UNLESS OTHERWISE NOTED, SHALL BE COARSE SAND, FINE GRAVEL OR EARTH HAVING A LOW PLASTICITY INDEX, FREE OF ROCKS, DEBRIS AND OTHER FOREIGN MATERIALS AND DEFINED AS ALL PASSING THROUGH A 3/8" SIEVE AND NOT MORE THAN TEN PERCENT (10%) BY VOLUME PASSING THROUGH A 200 MESH SIEVE.

UTILITY PIPING AND FITTINGS SHALL BE SIZE AND TYPE INDICATED ON THE DRAWINGS AND SHALL CONFORM TO THE FOLLOWING: MANHOLES STRUCTURES SHALL BE SIZE AND TYPE INDICATED ON THE DRAWINGS AND SHALL BE CONSTRUCTED OF THE FOLLOWING:

REINFORCED PRECAST CONCRETE MANHOLE SECTIONS INCLUDING CONCENTRIC OR ECCENTRIC CONES AND GRADE RINGS SHALL BE 4000 PSI. CONCRETE AND CONFORM TO ASTM C-478 OR AASHTO M-199. SECTIONS SHALL BE COMPLETE WITH 3/4" ROUND CAST IN PLACE

BRICK SHALL BE SOUND, HARD BURNED THROUGHOUT AND OF UNIFORM SIZE AND QUALITY AND SHALL BE IN ACCORDANCE WITH ASTM C-32, GRADE MS OR MM.

CONCRETE MASONRY SHALL BE SOLID PRECAST SEGMENTAL CONCRETE MASONRY UNITS

IRON CASTING SHALL CONFORM TO ASTM A-48, CLASS 30. BEARING SURFACES BETWEEN CAST IRON FRAMES, COVERS, GRATES SHALL BE MACHINED, FITTED TOGETHER AND MATCH MARKED TO PREVENT ROCKING. SYSTEM IDENTIFYING LETTER 2" HIGH SHALL BE STAMPED OR CAST INTO ALL COVERS SO THAT THEY MAY BE PLAINLY VISIBLE. CASTING SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS, INC., NEENAH FOUNDRY COMPANY OR EQUAL.

CONCRETE AND MASONRY MATERIALS FOR CONSTRUCTION OF SITE UTILITY STRUCTURES AND PADS SHALL CONSIST OF THE FOLLOWING:

PORTLAND CEMENT SHALL BE STANDARD BRAND OF PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II.

FINE OR COARSE AGGREGATES FOR CONCRETE SHALL BE PER ASTM C-33. AGGREGATES SHALL BE WELL GRADED FROM FINE TO COARSE WITHIN LIMITS SPECIFIED IN ASTM C-33.

MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE 3/4".

AGGREGATE FOR CEMENT MORTAR SHALL BE CLEAN, SHARP SAND CONFORMING TO ASTM C-144. GRADE SAND FROM COARSE TO FINE WITH 100% PASSING NO. 8 SIEVE, AND NOT OVER 10% TO 30% PASSING NO. 50 SIEVE.

HYDRATED LIME SHALL COMPLY WITH ASTM C-207, TYPE S.

WATER SHALL BE CLEAN AND FREE FROM DELETERIOUS MATERIALS.

REINFORCING STEEL FOR CONCRETE SHALL BE INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 40.

FORMS FOR CONCRETE WORK SHALL BE WOOD. FORMS SHALL BE SUFFICIENT STRENGTH TO PREVENT DEFORMATIONS UNDER LOAD AND TIGHT ENOUGH TO PREVENT LEAKAGE. FOUNDATIONS MAY BE POURED AGAINST EARTH WHERE CONDITIONS PERMIT.

CONCRETE, UNLESS OTHERWISE NOTED, SHALL HAVE COMPRESSIVE STRENGTH AFTER 28 DAYS OF 3000 PSI MINIMUM. MIX SHALL BE SO PROPORTIONED TO PROVIDE A MINIMUM OF 517 POUNDS OF CEMENT PER CUBIC YARD. CONCRETE FILL BELOW GRADE FOR THRUST BLOCKS, PIPE CRADLES ETC. MAY BE 2500 PSI. AT 28 DAYS.

CONCRETE, WHERE EXPOSED TO THE WEATHER, SHALL BE AIR ENTRAINED. AIR ENTRAINMENT SHALL BE ACCOMPLISHED BY THE USE OF ADDITIVES CONFORMING TO ASTM C-260. AIR CONTENT SHALL BE 6%+1%. ADDITIVE SHALL BE USED IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED DIRECTIONS.

READY—MIX CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-94.

TYPE M, AVERAGE COMPRESSIVE STRENGTH 2500 PSI. AT 28 DAYS. MORTAR MIX SHALL BE PROPORTIONED BY VOLUME.

MORTAR FOR PARGING SHALL CONSIST OF ONE PART PORTLAND CEMENT AND TWO PARTS

BACKFILL SHALL BE SAME MATERIAL SPECIFIED FOR PIPE BEDDING, WHERE SERVICE OR UTILITY LINES CROSS A STREET, BEDDING SHALL BE CARRIED TO FIVE FEET (5') BEHIND THE CURB, OR WHERE SIDEWALKS EXIST, TO THE SIDE OF THE SIDEWALK FARTHEST AWAY FROM

FLUSHING REQUIREMENTS FOR WATER AND SEWER FORCE MAINS

FLUSHING TIME SHALL BE AT LEAST THAT AMOUNT OF TIME NEEDED TO FLUSH 6 TIMES THE PIPE VOLUME AFTER 3 FPS VELOCITY IS REACHED OR UNTIL CLEAR, WHICHEVER IS LONGER. MAXIMUM LENGTH OF PIPE BETWEEN FLUSHING ASSEMBLIES SHALL BE 5,000 FEET.

SEWER COLLECTION SYSTEM

POLY (VINYL CHLORIDE) PIPE (PVC): PLASTIC GRAVITY SEWER PIPE AND FITTINGS SHALL BE UNPLASTICIZED POLYVINYL CHLORIDE (PVC) MEETING AND/OR EXCEEDING ASTM SPECIFICATIONS D-3034 (LATEST EDITION).

PIPE LENGTHS SHALL NOT EXCEED 20 FEET AND PROVISIONS SHALL BE MADE AT EACH JOINT TO ACCOMMODATE EXPANSION AND CONTRACTIONS.

COMPLY WITH REQUIREMENTS OF FS RR-F-621, FOR TYPE AND STYLE REQUIRED.

MATERIALS FOR SEWER FORCE MAINS: PVC PIPE FOR FORCE MAINS SHALL CONFORM TO THE REQUIREMENTS OF ASTM SDR-21 FOR PRESSURE RATING OF 200 PSI 230 C (73 DEGREES F). HDPE FORCE MAIN SHALL BE SDR-11. PIPE JOINTS SHALL BE INTEGRAL BELL AND SPIGOT TYPE WITH RUBBER RING SEALING GASKET. THE PIPE BELL SHALL BE DESIGNED TO BE AT LEAST AS STRONG AS THE PIPE WALL. STANDARD LENGTHS SHALL BE 20 FEET, EXCEPT THAT 15% OF TOTAL FOOTAGE FOR A PARTICULAR PROJECT MAY BE RANDOM LENGTHS OF NOT LESS THAN 10 FEET EACH. EACH PIECE OF PIPE SHALL BE TESTED BY THE MANUFACTURER OF 6000 PSI FOR A MINIMUM OF 5 SECONDS. THE BELL SHALL BE TESTED WITH THE PIPE. ALL PIPE SHALL BE LISTED BY UNDERWRITER'S LABORATORIES, INC., AND BY FACTORY MUTUAL AS APPROVED FOR USE IN UNDERGROUND MUNICIPAL WATER DISTRIBUTION SYSTEMS AND PRIVATE FIRE PROTECTION SYSTEM. CAST IRON OR DUCTILE IRON FITTINGS SHALL BE USED WITH PVC PIPE.

CAST IRON FITTINGS SHALL BE MECHANICAL JOINT AND SHALL CONFORM TO ANSI SPECIFICATION A21.10 FOR SIZES 3 INCHES THROUGH 12 INCHES AND SHALL BE CLASS 250. FITTINGS 14 INCHES AND LARGER SHALL BE CLASS 150 AND SHALL BE OF THE DIMENSIONS AND METAL THICKNESSES AS SHOWN IN THE HANDBOOK OF CAST IRON PIPE AS PUBLISHED BY THE CAST IRON PIPE RESEARCH ASSOCIATION. CAST IRON FITTINGS MAY BE USED IN DUCTILE IRON OR CAST IRON LINES, EXCEPT WHERE SHOWN OTHERWISE ON THE DRAWINGS.

DUCTILE IRON FITTINGS SHALL BE DESIGNED FOR PRESSURE RATING OF 250 PSI AND SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATIONS A21.10. FITTING SHALL BE MECHANICAL JOINT. DUCTILE IRON FITTINGS MAY BE USED IN DUCTILE IRON OR CAST IRON LINES, EXCEPT WHERE SHOWN OTHERWISE ON THE DRAWINGS.

THE EXTERIOR OF ALL CAST IRON AND DUCTILE IRON FITTINGS SHALL BE COATED WITH AN APPROVED BITUMINOUS COATING. THE INTERIOR OF THE PIPE SHALL BE EPOXY LINED

(PROTECTO 401) IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION (40 MILS NOMINAL DRY FILM THICKNESS).

MATERIALS FOR CONCRETE MANHOLES: PRECAST OF CAST—IN—PLACE, AT CONTRACTOR'S

OPTION. USE CONCRETE WHICH WILL ATTAIN A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.

INSPECTIONS AND TESTS: IT IS IMPERATIVE THAT ALL SEWERS AND MANHOLES BE BUILT PRACTICALLY WATERTIGHT AND THAT THE CONTRACTOR MUST ADHERE RIGIDLY TO THE SPECIFICATIONS FOR MATERIAL AND WORKMANSHIP.

SEWERS OR ANY ONE TRUNK, OR INTERCEPTOR, SHALL BE IN COMPLETE ACCORDANCE WITH ASTM 425-71T AND SHALL NOT EXCEED A LIMIT OF INFILTRATION EQUAL TO 0.2 GAL/INCH DIAMETER/HOUR/100 LINEAR FEET OF PIPE.

THE TEST WILL BE MADE BY MEASURING THE INFILTRATED FLOW OF WATER OVER A

THE ALLOWABLE LIMIT OF GROUNDWATER INFILTRATION FOR THE GRAVITY SYSTEM OF NEW

THE TEST WILL BE MADE BY MEASURING THE INFILTRATED FLOW OF WATER OVER A MEASURING WEIR SET UP IN THE INVERT OF THE SEWER, OR BY ALTERNATE METHOD APPROVED BY THE ENGINEER, A KNOWN DISTANCE FROM A TEMPORARY BULKHEAD OR OTHER LIMITING POINT OF INFILTRATION. AFTER THE SEWER OF SEWERS HAVE BEEN PUMPED OUT, AND NORMAL INFILTRATION CONDITIONS PREVAIL, TESTS SHALL BE STARTED.

TESTS SHALL BE RUN CONTINUOUSLY FOR A PERIOD OF NOT LESS THAN THREE HOURS, WITH WEIR READINGS TAKEN AT 20 MINUTE INTERVALS.

PRESSURE AND LEAKAGE TESTS OF SEWAGE FORCE MAIN PIPING

CONTRACTOR SHALL FURNISH ALL GAUGES, METERS, PRESSURE PUMPS, EQUIPMENT, FITTINGS, AND LABOR NEEDED TO TEST THE LINE. THE COST OF THESE ITEMS SHALL BE INCLUDED IN THE PRICE OF THE PIPE. CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS PRIOR TO START OF TEST. ALL PIPE INSTALLED SHALL BE TESTED AND WRITTEN ACCEPTANCE ISSUED BY THE ENGINEER PRIOR TO CONNECTION OF NEW LINE TO EXISTING LINES.

THE CONTRACTOR MAY TEST THE SYSTEM WITH JOINTS EXPOSED OR BACKFILLING COMPLETE AT HIS OPTION. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL WATER USED. CARE SHALL BE USED TO PREVENT BACKFLOW OF TEST WATER INTO POTABLE WATER SOURCE. POTABLE WATER SOURCE SHALL BE DISCONNECTED PRIOR TO PRESSURIZING TEST LINE. WATER USED DURING TEST SHALL BE TAKEN FROM A CONTAINER, NOT DIRECTLY FROM THE EXISTING WATER SYSTEM.

AT LEAST 24 HOURS PRIOR TO THE START OF THE PRESSURE AND LEAKAGE TEST, PRESSURE SHALL BE RAISED TO 150 PSIG AND HELD TO ALLOW ANY "SOIL CREEP" OR OTHER STRESS RELAXATION TO OCCUR. IF ANY PRESSURE REDUCTION OCCURS DURING THE 24 HOUR "SHAKEDOWN" PERIOD, REESTABLISH THE REQUIRED HYDROSTATIC TEST PRESSURE, THEN PROCEED WITH

THE PRESSURE REQUIRED FOR THE FIELD HYDROSTATIC PRESSURE TEST SHALL BE 150 PSI. THE CONTRACTOR SHALL PROVIDE TEMPORARY PLUGS AND BLOCKING NECESSARY TO MAINTAIN THE REQUIRED TEST PRESSURE. CORPORATION COCKS AT LEAST % INCHES IN DIAMETER, PIPE RISERS AND ANGLE GLOBE VALVES SHALL BE PROVIDED AT EACH PIPE DEAD—END AND HIGH POINTS IN ORDER TO BLEED AIR FROM THE LINE. DURATION OF PRESSURE TEST SHALL BE AT LEAST TWO HOURS. ALL LEAKS EVIDENT AT THE SURFACE SHALL BE REPAIRED AND LEAKAGE ELIMINATED REGARDLESS OF TOTAL LEAKAGE AS SHOWN BY TEST. LINES WHICH FAIL TO MEET TESTS SHALL REPAIRED AND RETESTED AS NECESSARY UNTIL TEST REQUIREMENTS ARE COMPLIED WITH. DEFECTIVE MATERIALS, PIPES, VALVES AND ACCESSORIES SHALL BE REMOVED AND REPLACED. THE PIPE LINES SHALL BE TESTED IN SUCH SECTION AS MAY BE DIRECTED BY THE ENGINEER BY SHUTTING VALVES OR INSTALLING TEMPORARY PLUGS AS REQUIRED. THE LINE SHALL BE FILLED WITH WATER, ALL AIR REMOVED, AND TEST PERSSURE SHALL BE MAINTAINED IN THE PIPE FOR THE ENTIRE TEST PERIOD BY MEANS OF A GASOLINE OR ELECTRIC DRIVEN TEST PUMP TO BE FURNISHED BY THE CONTRACTOR. ACCURATE MEANS SHALL BE PROVIDED FOR MEASURING THE WATER REQUIRED TO MAINTAIN THIS PRESSURE. THE

NO PIPE INSTALLATION WILL BE ACCEPTED UNTIL THE LEAKAGE (EVALUATED ON A PRESSURE BASIS OF 150 PSI) IS LESS THAN 2.2 GALLONS PER 24 HOURS PER THOUSAND FEET PER INCH NOMINAL DIAMETER. THE FOLLOWING TABULATES THE ALLOWABLE LEAKAGE:

ALLOWABLE LEAKAGE PER 1000 FT OF PIPELINE (IN GALLONS)

AMOUNT OF WATER REQUIRED IS A MEASURE OF THE LEAKAGE.

OF TEST

2
3
4
6
8
10
12
14

1 HOUR
0.18
0.28
0.37
0.55
0.74
0.92
1.10
1.29
2 HOURS
0.37
0.55
0.74
1.10
1.47
1.84
2.20
2.57
WHERE ANY SECTION OF A MAIN IS PROVIDED WITH CONCRETE REACTION BACKING THE HYDROSTATIC PRESSURE TEST SHALL
NOT BE MADE UNTIL AT LEAST FIVE (5) DAYS HAVE ELAPSED AFTER THE CONCRETE REACTION BACKING WAS INSTALLED. IF
HIGH EARLY—STRENGTH CEMENT IS USED IN THE CONCRETE REACTION BACKING, THE HYDROSTATIC PRESSURE TEST SHALL
NOT BE MADE UNTIL AT LEAST THREE (3) DAYS HAVE ELAPSED.

LEAKAGE TESTS FOR GRAVITY SEWER

FOR PIPE SIZE GREATER THAN 30IN DIA.

LINES SHALL BE TESTED FOR LEAKAGE BY LOW PRESSURE AIR TESTING. LOW PRESSURE AIR TESTING FOR CONCRETE PIPES SHALL BE AS PRESCRIBED IN ASTM C 828. LOW PRESSURE AIR TESTING FOR PVC PIPE SHALL BE AS PRESCRIBED IN ASTM F1417, AND PRESSURE DROP LIMITS SHALL BE DETERMINED BY USING ASTM F1417 TABLE 1, SHOWN BELOW. LOW PRESSURE AIR TESTING PROCEDURES FOR OTHER PIPE MATERIALS SHALL USE THE PRESSURES AND TESTING TIMES PRESCRIBED IN ASTM C 828 AND ASTM C 924, AFTER CONSULTATION WITH THE PIPE MANUFACTURER. VISIBLE LEAKS ENCOUNTERED SHALL BE CORRECTED REGARDLESS OF LEAKAGE TEST RESULTS. WHEN LEAKAGE EXCEEDS THE MAXIMUM AMOUNT SPECIFIED, SATISFACTORY CORRECTION SHALL BE MADE AND RETESTING ACCOMPLISHED. TESTING, CORRECTION, AND RETESTING SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

ASTM F1417 TABLE 1
MINIMUM SPECIFIED TIME REQUIRED FOR 1.0 PSIG PRESSURE DROP FOR SIZE AND LENGTH OF PIPE INDICATED FOR Q=0.0015

1. SEE PRACTICE UNI-B-6-90.

2. CONSULT WITH PIPE AND APPURTENANCE MANUFACTURER FOR MAXIMUM TEST PRESSURE

PIPE DIAMETER	MINIMUM TIME	LENGTH FOR	TIME FOR		SPECIFIC	ation tin	IE FOR I	_ENGTH	(L) SHOV	VN, MIN:S	S	
IN.	MIN:S		LONGER LENGTH,S	100FT	150FT	200FT	250FT	300FT	350FT	400FT	450FT	
4	3:46	597	0.380L	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46	
6	5:40	398	0.854L	5:40	5:40	5:40	5:40	5:40	5:40	5:42	6:24	
8	7:34	298	1.520L	7:34	7:34	7:34	7:34	7:36	8:52	10:08	11:24	
10	9:26	239	2.374L	9:26	9:26	9:26	9:53	11:52	13:51	15:49	17:48	
12	11:20	199	3.418L	11:20	11:20	11:24	14:15	17:05	19:56	22:47	25:38	
15	14:10	159	5.342L	14.10	14.10	17:48	22:15	26:42	31:09	35:36	40:04	
18	17:00	133	7.692L	17:00	19:13	25:38	32:03	38:27	44:52	51:16	57:41	
21	19:50	114	10.470L	19.50	26:10	34:54	43:37	52:21	61:00	69:48	78:31	
24	22:40	99	13.674L	22:47	34:11	45:34	56:58	68:22	79:46	91:10	102:33	
27	25:30	88	17.306L	28:51	43:16	57:41	72:07	86:32	100:57	115:22	129:48	
30	28:20	80	21.366L	35:37	53:25	71:13	89:02	106:50	124:38	142:26	160:15	
33	31:10	72	25.852L	43:05	64:38	86:10	107:43	129:16	150:43	172:21	193:53	
36	34:00	66	30.768L	51:17	76:55	102:34	128:12	153:50	179:29	205:07	230:46	

RAISED 1-1/2" LETTERS

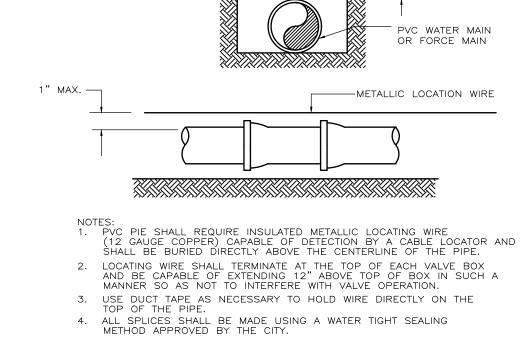
2 - NON PENETRATING PICK HOLES

STANDARD MANHOLE FRAME AND COVER

SANITARY

PLAN

FLUSH WITH TOP OF COVER

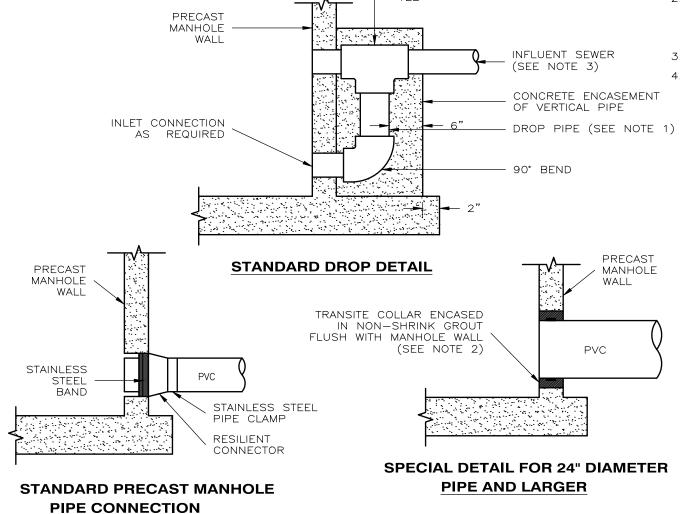


METALLIC LOCATING WIRE ----

FINISHED GRADE

PVC PIPE LOCATING WIRE DETAIL

NOT TO SCALE



- NOTES:

 1. DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL
- AS THE INFLUENT SEWER.
- 2. THE CITY MAY APPROVE ALTERNATE WATER TIGHT CONNECTION DETAILS FOR CONNECTION OF 24" DIAMETER PIPES AND LARGER.
- 3. AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 2' OR MORE ABOVE THE MANHOLE INVERT.

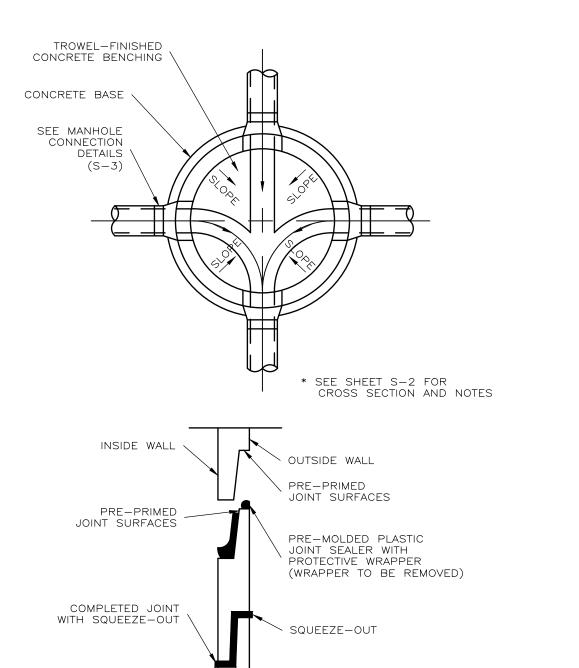
MANHOLE
CONNECTION DETAILS

MACHINED

SURFACES

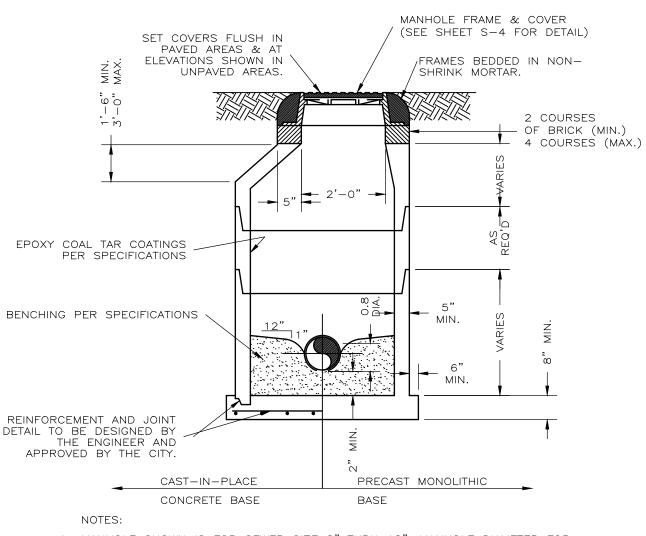
ELEVATION

4-3/4" MIN.



PRECAST CONCRETE

MANHOLE DETAIL



- 1. MANHOLE SHOWN IS FOR SEWER SIZE 8" THRU 18", MANHOLE DIAMETER FOR
- SEWERS GREATER THAN 18" SHALL BE AS APPROVED BY CITY.

 2. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS

 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE
- CONNECTION DETAILS.

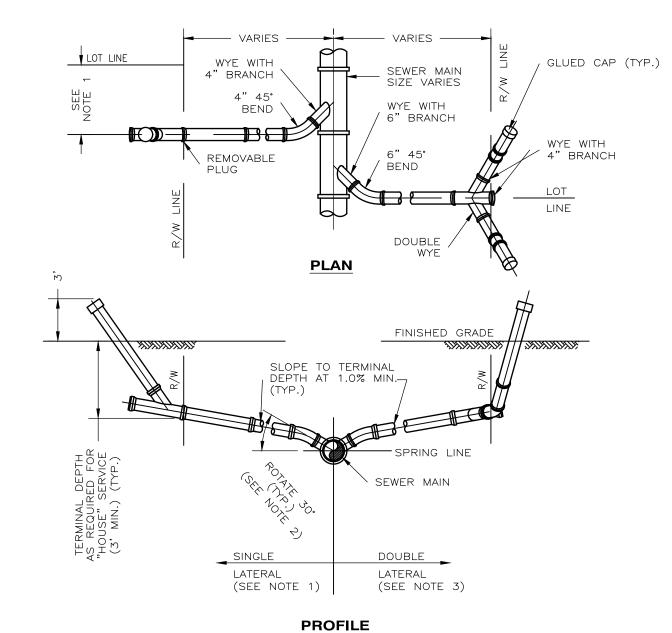
 3. APPROVED CONCENTRIC CONE DESIGN MAY BE USED AS AN ALTERNATIVE.

 4. MANHOLE LIFT HOLES AND GRADE ADJUSTMENT RINGS SHALL BE SEALED

W/ NON-SHIRNK MORTAR.

PRECAST CONCRETE
MANHOLE DETAILS

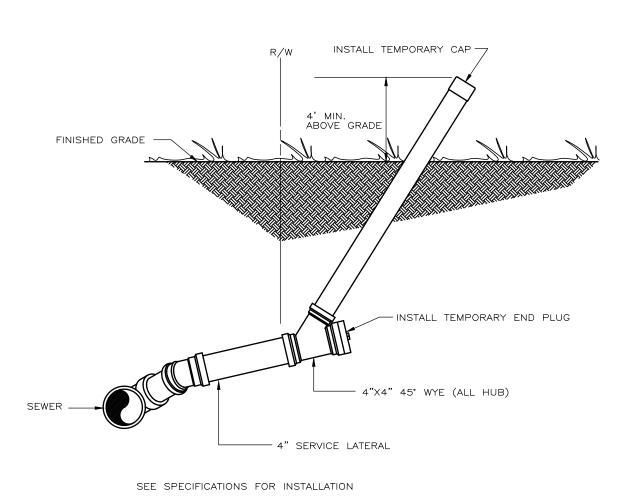
NOT TO SCALE



NOTES:

- 1. LOCATE SINGLE LATERAL AS NEAR TO CENTER OF LOT AS POSSIBLE.
- INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
- 3. DOUBLE SERVICE LATERALS ONLY PERMITTED ON TAPS TO EXISTING GRAVITY MAINS WERE EXISTING ROAD PAVEMENT MUST BE CUT.

SERVICE LATERAL DETAIL



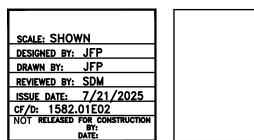
LATERAL STUB-UP DETAILS

NOT TO SCALE

PERMIT PURPOSES ONLY

CONSTRUCTION DETAILS GRAND OAKS SUBDIVISION 7TH & SENECA

CALLAWAY FLORIDA



MCNEIL

—CARROLL

ENGINEERING, INC.

Professional Engine

475 Harrison Avenue, Suite 200 Panama City, Florida 32401 Phone: 850-763-5730

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ERING, INC.

Professional Engineering Consultants

STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

NO. DATE BY REVISIONS

01

02

03

04

05

Sean D. McNeil, P.E. PROFESSIONAL ENGINEER FL LC # 57988

07/21/25

WATER DISTRIBUTION SYSTEM

PRODUCTS: PROVIDE ELLS, TEES, REDUCING TEES, WYES, COUPLINGS, AND OTHER REQUIRED PIPING ACCESSORIES OF SAME TYPE AND CLASS OF MATERIALS AS CONDUIT, OR OF MATERIAL HAVING EQUAL OR SUPERIOR PHYSICAL AND CHEMICAL PROPERTIES AS

UNPLASTICIZED POLYVINYL CHLORIDE (PVC PIPE SHALL HAVE AN INTEGRATED BELL—TYPE JOINT DESIGNED FOR CONVEYING POTABLE WATER UNDER PRESSURE. RING-TYPE NEOPRENE GASKETS SHALL BE PROVIDED IN RECESSED IN THE BELLS TO MAKE JOINTS WATER TIGHT. ALL PIPES SHALL BE SUITABLE FOR USE AT MAXIMUM HYDROSTATIC REQUIREMENTS OF AWWA C-900-07 MADE TO SDR 25 DIMENSIONS MAXIMUM LAYING LENGTHS SHALL BE 40 FEET WITH MANUFACTURER'S OPTION TO SUPPLY UP TO 15 PERCENT RANDOMS (MINIMUM LENGTH EQUALS 10 FT.). ALL FITTINGS SHALL BE CAST IRON WITH

PIPE FITTINGS SHALL BE ASSEMBLED WITH A NON-TOXIC LUBRICANT AS RECOMMENDED BY THE MANUFACTURER. PVC PIPE SHALL BE AS MANUFACTURED BY THE U.S. PIPE COMPANY, THE CERTAIN-TEED PRODUCTS CORPORATION, THE JOHNS-MANSVILLE COMPANY, THE ETHYL CORPORATION, OR APPROVED EQUAL.

PROVIDE VALVES AND FLOW CONTROL DEVICES AS INDICATED:

MINIMUM WORK PRESSURE, 160 PSI, UNLESS OTHERWISE INDICATED.

GATE VALVES: STANDARD SHUT-OFF VALVES WITH MAXIMUM WORK PRESSURE CAST INTO OUTSIDE-SCREW-AND-YOKE TYPE COMPLYING WITH AWWA C-500. ALL VALVES SHALL

FOUR—INCHES AND OVER: SHALL BE CAST—IRON BODY, FULLY BRONZE MOUNTED DOUBLE—DISC, PARALLEL SEAL VALVES WIDE FLANGE OR SPIGOT END DEPENDING ON INSTALLATION. FLANGED GATE VALVES SHALL BE PROVIDED WITH 125 POUND AMERICAN STANDARD FLANGES. ALL VALVES TO BE INSTALLED ABOVE THE GROUND SHALL BE FITTED WITH WHEEL—TYPE HAND OPERATORS. ALL VALVES TO BE SET BELOW GRADE SHALL BE FITTED WITH HUB—TYPE OPERATORS AND SHALL HAVE A CAT—IRON VALVE BOX INSTALLED CONCENTRICALLY

UNDER FOUR—INCHES: GATE VALVES UNDER FOUR—INCHES SHALL BE IRON OR BRONZE BODY, SOLID WEDGE VALVES EQUIPPED WITH OPERATING HAND WHEELS. ALL ECCENTRIC VALVES 10—INCHES OR LARGER SHALL BE GEAR OPERATED WITH HAND WHEELS FOR ABOVE GROUND VALVES AND HUB OPERATED FOR BELOW GROUND VALVES. ALL ECCENTRIC VALVES 8—INCHES AND SMALLER SHALL BE LEVEL OPERATED FOR ABOVE GROUND VALVES AND HUB OPERATED FOR BELOW GROUND VALVES. ALL HUB OPERATED UNITS SHALL BE PROVIDED A CAST-IRON VALVES BOX AND COVER.

CHECK VALVES: THE CHECK VALVES OVER THREE INCHES SHALL BE IRON BODY, BRONZE MOUNTED, HORIZONTAL SWING CHECK WITH FLANGED ENDS. ALL WORK PARTS SHALL BE SPRING LOCATED TO PREVENT SLAMMING. THE CHECK VALVES SHALL BE CLOW F—2955, OR CHECK VALVES UNDER THREE INCHES SHALL BE SCREWED END, BRONZE BODY, SILENT CHECK VALVES AS MANUFACTURED BY CRANE COMPANY, NO. 34 OR APPROVED EQUAL.

PROVIDE ANCHORAGES FOR TEE, PLUGS, CAPS, AND BENDS.

AFTER INSTALLATION, APPLY A FULL COAT OF ASPHALT OR OTHER ACCEPTABLE CORROSION—RETARDING MATERIAL TO SURFACES OF RODS AND CLAMPS.

RODS: STEEL, ANSI/ASTM A-575

ROD COUPLINGS: MALLEABLE IRON, ANSI/ASTM A-197

CLAMPS, STRAPS AND WASHERS: STEEL ANSI/ASTM A-506

BOLTS: STEEL, ANSI/ASTM A-307

CAST IRON WASHERS: ANSI/ASTM A-126, CLASS A

WATER SERVICE IDENTIFICATIONS: PLASTIC LINE MARKS, NOMENCLATURE "CAUTION, BURIED WATER LINE BELOW".

FLEXIBLE COUPLINGS: STEEL MIDDLE RING, TWO STEEL FOLLOWER RINGS, TWO RESILIENT GASKETS AND STEEL BOLTS. DRESSER TYPE 38 OR APPROVED EQUAL. INSPECTION AND HYDROSTATIC TESTING; AFTER THE PIPE HAS BEEN LAID AND BACKFILLED AS SPECIFIED EACH VALVED SECTION OF NEWLY LAID PIPE SHALL BE SUBJECTED TO HYDROSTATIC PRESSURE OF 150 PSI.

THE DURATION OF EACH PRESSURE TEST SHALL BE AT LEAST TWO HOURS OR UNTIL THE LINE HAS BEEN COMPLETELY INSPECTED FOR VISIBLE LEAKS. PERMISSIBLE LEAKAGE: NO PIPE INSTALLATION WILL BE ACCEPTABLE UNTIL OR UNLESS THIS LEAKAGE (EVALUATED ON A PRESSURE BASIS OF 150 PSI) IS LESS THAN 4 U.S. GALLONS PER 24 HOURS PER THOUSAND FEET PER INCH NOMINAL DIAMETER IN ACCORDANCE WITH

DISINFECTION SHALL BE AFTER THE DISTRIBUTION SYSTEM HAS BEEN TESTED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA SPECIFICATION C-651 WHICH PROVIDES FOR THE INJECTION OF A 50 PPM SOLUTION OF

IN THE PROCESS OF CHLORINATING WATER PIPE, ALL VALVES OR OTHER APPURTENANCES SHALL BE OPERATED WHILE THE PIPE LINE IS FILLED WITH CHLORINATING AGENT. WATER VALVES 12" AND LESS SHALL BE EPOXY COATED RESILIENT SEAT GATE VALVE.

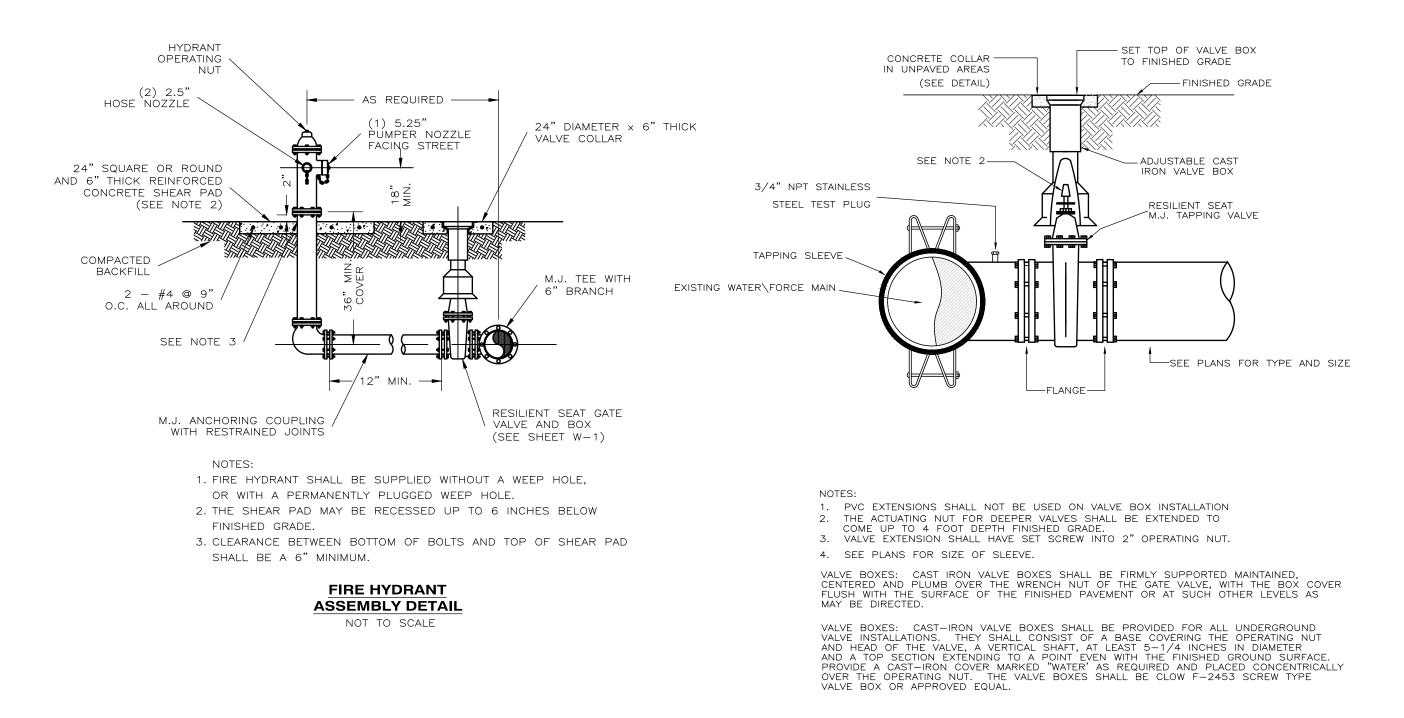
MAIN PIPE	I HOINE. DENDO				TEES					REDUCERS		
SIZE	90°	45°	22.5°		SIZ		ENGTH		SIZ		ENGTH	
24	90	38	18	X24 177	X20 139	X16 94	X12 40	X10 6	X20 64	X16 117	X12 158	214
20	78	32	15	X20 148	X16 105	X12 56	X10 25	X8 0	X16 65	X12 115	X10 149	184
16	66	27	13	X16 116	X12 70	X10 42	X8 12		X12 64	X10 90	X8 111	151
12	51	22	10	X12 83	X10 59	X8 32	X6 0		X10 34	X8 62	X6 86	118
10	44	18	9	X10 66	X8 41	X6 8			X8 33	X6 61	X4 81	100
8	37	15	7	X8 50	X6 21	X4 0	X3 0		X6 35	X4 59		83
6	29	12	5	X6 30	X4 0				X4 32	X3 44		63
4	21	8	4	X4 14								45
3	17	7	4	X3 10								36

NOTES:

- 1.) RESTRAIN TO NEXT FULL JOINT BEYOND GIVEN LENGTH.
- 2.) RESTRAIN 11.25° BENDS 50% OF LENGTH FOR 22.5° BENDS.
- 3.) ALL VALVES AND FITTINGS SHALL BE RESTRAINED TO THE CONNECTING SECTIONS OF PIPE. 4.) ALL VALVES MUST BE PROPERLY ANCHORED OR RESTRAINED TO RESIST A 180 PSI TEST
- PRESSURE IN EITHER DIRECTION.
- 5.) PIPE SIZES ARE GIVEN IN INCHES.
- 6.) PIPE LENGTHS ARE GIVEN IN FEET. 7.) LENGTHS SHOWN ARE FOR A TEST PRESSURE OF 180 PSI.
- 8.) THE RESTRAINED LENGTHS SHOWN IN THESE TABLES ARE BASED ON THE USE OF LIGHTLY COMPACTED CLEAN SAND WITH AT LEAST A 95% COARSE PARTICLE CONTENT. ACTUAL SOIL CONDITIONS MUST BE DETERMINED BY THE ENGINEER OF RECORD AND THE RESTRAINED

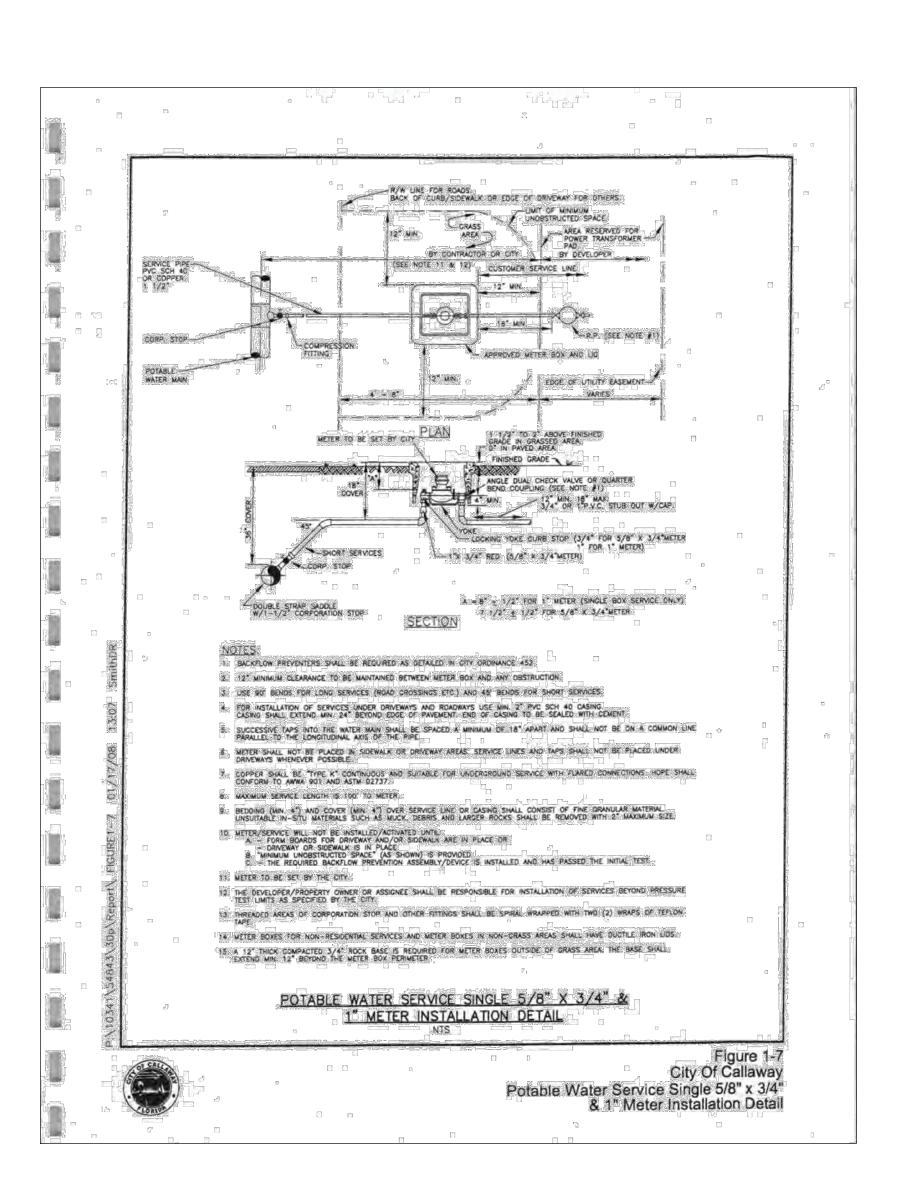
REQUIRED LENGTH OF RESTRAINED JOINT PIPE FOR DR-18 PVC PIPE

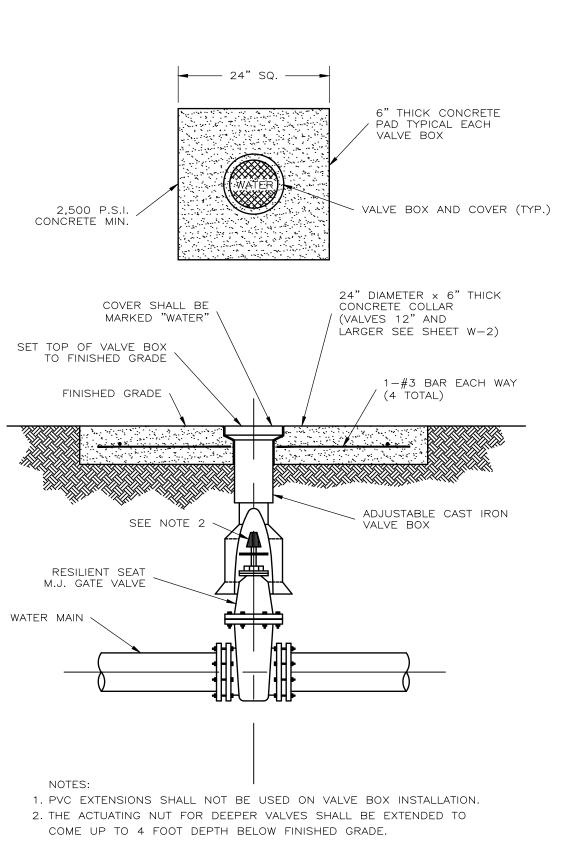
NOT TO SCALE

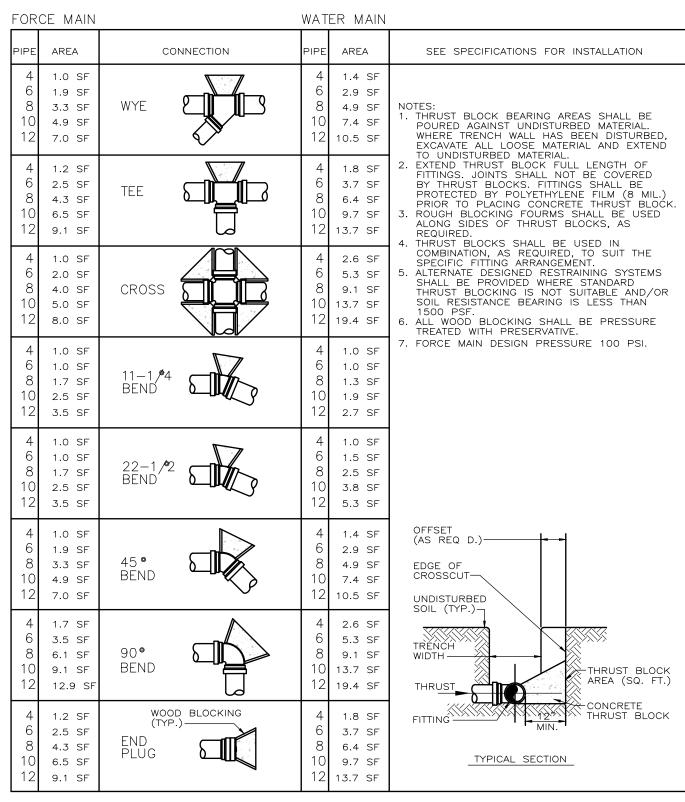


TAPPING SLEEVE ASSEMBLY DETAIL

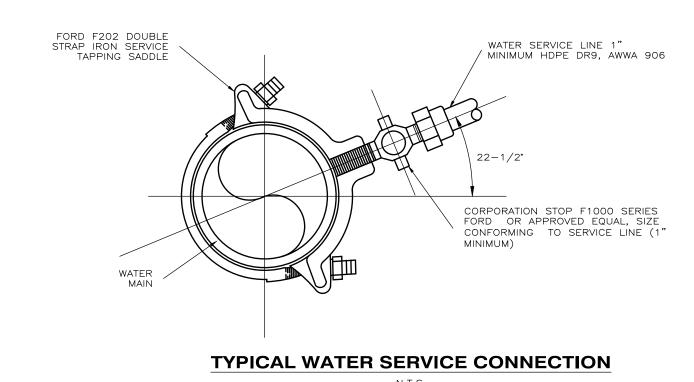
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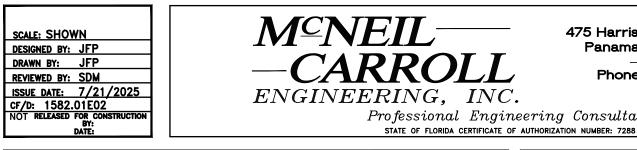
THRUST BLOCK SCHEDULE



PERMIT PURPOSES ONLY

CONSTRUCTION DETAILS

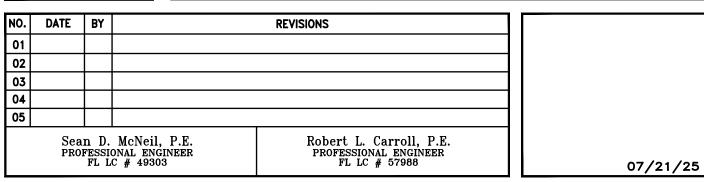
GRAND OAKS SUBDIVISION 7TH & SENECA CALLAWAY FLORIDA



M^CNEIL ENGINEERING, INC. Professional Engineering Consultants

475 Harrison Avenue, Suite 200 Panama City, Florida 32401 Phone: 850-763-5730

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GATE VALVE 12" & SMALLER

ASPHALTIC CONCRETE PAVING

PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC. NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL PAVEMENT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.

SUBMIT A "LETTER OF INTENT" FOR THE FOLLOWING:

ASPHALT PAVING MATERIAL AND MIX DESIGN. PROVIDE COPIES OF MATERIALS CERTIFICATES SIGNED BY MATERIAL PRODUCER AND CONTRACTOR, CERTIFYING THAT EACH MATERIAL ITEM COMPLIES WITH, OR EXCEEDS, SPECIFIED REQUIREMENTS.

WEATHER LIMITATIONS: APPLY PRIME AND TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES F. (10 DEGREES C), AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES F. (1 DEGREE C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS AN EXCESS OF MOISTURE.

CONSTRUCT ASPHALT CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40 DEGREES F. (4 DEGREES C), AND WHEN BASE IS DRY. SURFACE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES F. (-1 DEGREE C) AND RISING.

GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS.

THE SUBCONTRACTOR SHALL WARRANT ALL ASPHALT PAVING AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF TWO YEARS.

PRODUCTS: USE LOCALLY AVAILABLE MATERIALS AND GRADATIONS WHICH EXHIBIT A SATISFACTORY RECORD OF PREVIOUS INSTALLATIONS.

AGGREGATE: CRUSHED STONE, CRUSHED GRAVEL, AND SHARP—EDGED NATURAL SAND.

MAXIMUM AGGREGATE SIZE SHALL BE NO GREATER THAN ONE—HALF OF THE DESIGN THICKNESS OF THE WEARING OR BINDER COURSE.

SURFACE PREPARATION: PROOF ROLL PREPARED BASE SURFACE TO CHECK FOR UNSTABLE AREAS AND AREAS REQUIRING ADDITIONAL COMPACTION.

NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT BASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

PRIME COAT: APPLY AT RATE OF 0.2 TO 0.5 GAL. PER SQ. YD., OVER COMPACTED BASE. APPLY MATERIAL TO PENETRATE AND SEAL, BUT NOT FLOOD SURFACE. CURE AND DRY AS LONG AS NECESSARY TO ATTAIN PENETRATION AND EVAPORATION OF VOLATILE.

TACK COAT: APPLY TO CONTACT SURFACE OF PREVIOUSLY CONSTRUCTED ASPHALT OR PORTLAND CEMENT CONCRETE AND SURFACES ABUTTING OR PROJECTING INTO ASPHALT CONCRETE PAVEMENT. DISTRIBUTE AT RATE OF 0.05 TO 0.51 GAL. PER SQ. YD. OF

ALLOW TO DRY UNTIL AT PROPER CONDITION TO RECEIVE PAVING.

ASPHALT CONCRETE MIX: THIS ITEM SHALL CONSIST OF A WEARING SURFACE CONSTRUCTED OF ASPHALTIC CONCRETE ON A PREPARED BASE.

THE MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH THOSE SET FORTH FOR ASPHALTIC CONCRETE IN THE LATEST F.D.O.T. EDITION OF THE STANDARD SPECIFICATIONS.

THE ASPHALTIC CEMENT SHALL MEET THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-20, VISCOSITY GRADE AC-20 (PENETRATION GRADE 60-70).

JOB MIX FORMULA: THE MARSHALL TESTING WILL BE USED IN ESTABLISHING THE JOB MIX FORMULA AND FOR CONTROL TESTING THROUGHOUT THE WORK.

THE DENSITY OF FIELD SAMPLES SHALL NOT BE LESS THAN 95% OF THE MARSHALL LABORATORY COMPACTED MIXTURE COMPOSED OF THE SAME MATERIALS IN LIKE

THE THICKNESS OF THE SURFACE SHALL BE AS SPECIFIED IN THE SITE WORK PLANS. THIS REQUIREMENT SHALL BE CHECKED BY CORES AND WHERE A DEFICIENCY OF MORE THAN 1/4" EXISTS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCY EITHER BY REPLACING THE FULL THICKNESS OR OVERLAYING THE AREAS TO THE SATISFACTION OF THE ENGINEER.

SAND ASPHALT BASE

PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STRIKE-OFF. SPREAD MIXTURE AT MINIMUM TEMPERATURE OF 225 DEGREES F. (107 DEGREES C).

PLACE IN STRIPS NOT LESS THAN 10' WIDE, UNLESS OTHERWISE ACCEPTABLE TO THE ENGINEER. AFTER FIRST STRIP HAS BEEN PLACED AND ROLLED, PLACE SUCCEEDING STRIPS AND EXTENDED ROLLING TO OVERLAP PREVIOUS STRIPS. COMPLETE BASE COURSE FOR A SECTION BEFORE PLACING SURFACE COURSE.

MAKE JOINTS BETWEEN OLD AND NEW PAVEMENTS, OR BETWEEN SUCCESSIVE DAYS' WORK, TO ENSURE CONTINUOUS BOND BETWEEN ADJOINING WORK. CLEAN CONTACT SURFACES AND

BEGIN ROLLING WHEN MIXTURE WILL BEAR ROLLER WEIGHT WITHOUT EXCESSIVE DISPLACEMENT.

ACCOMPLISH BREAKDOWN OR INITIAL ROLLING IMMEDIATELY FOLLOWING ROLLING OF JOINTS AND OUTSIDE EDGE. CHECK SURFACE AFTER BREAKDOWN ROLLING, AND REPAIR DISPLACED AREAS BY LOOSENING AND FILLING, IF REQUIRED, WITH HOT MATERIAL. CONTINUE SECOND ROLLING UNTIL MIXTURE HAS BEEN THOROUGHLY COMPACTED.

PERFORM FINISH ROLLING WHILE MIXTURE IS STILL WARM ENOUGH FOR REMOVAL OF ROLLER MARKS. CONTINUE ROLLING UNTIL ROLLER MARKS ARE ELIMINATED AND COURSE HAS ATTAINED MAXIMUM DENSITY. AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME

TEST IN-PLACE ASPHALT CONCRETE COURSES FOR PAVING AS DIRECTED BY ENGINEER FOR SMOOTHNESS.

THICKNESS: IN-PLACE COMPACTED THICKNESS WILL NOT BE ACCEPTABLE IF EXCEEDING FOLLOWING ALLOWABLE VARIATION FROM REQUIRED THICKNESS:

BASE COURSE: 1/2" PLUS OR MINUS SURFACE COURSE: 1/4" PLUS OR MINUS

SURFACE SMOOTHNESS: TEST FINISHED SURFACE OF EACH ASPHALT CONCRETE COURSE FOR SMOOTHNESS, USING 10' STRAIGHT EDGE APPLIED PARALLEL WITH, AND AT RIGHT ANGLES TO CENTER OF PAVED AREAS. SURFACES WILL NOT BE ACCEPTABLE IF EXCEEDING THE FOLLOWING TOLERANCES FOR SMOOTHNESS:

BASE COURSE SURFACE: 1/4" WEARING COURSE SURFACE: 3/16" CHECK SURFACED AREAS AT INTERVALS AS DIRECTED B

CHECK SURFACED AREAS AT INTERVALS AS DIRECTED BY ENGINEER.

FIELD DENSITY AND SOIL BEARING CAPACITY TESTS SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER. PROVIDE INSPECTION, CERTIFICATION OF PAVEMENT CONSTRUCTION, FIELD TESTS AND CORE SAMPLES OF THE COMPLETE PAVEMENT CONSTRUCTION.

MISCELLANEOUS PAVEMENT

WORK INCLUDED CONSISTS OF BUT IS NOT LIMITED TO THE FOLLOWING:

CONCRETE SIDEWALKS, CURBS, CURB AND GUTTER, INCLUDING POROUS FILL.

CONCRETE LIGHT POLE BASES.

SUBMIT A "LETTER OF INTENT" FOR THE FOLLOWING:

CONCRETE AGGREGATES SHALL CONFORM TO ASTM C-33.

CONCRETE MIX DESIGN.

THIS SUBCONTRACTOR SHALL WARRANT ALL ASPHALT PAVING AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF TWO (2) YEARS.

POROUS FILL SHALL BE CLEAN COARSE SAND, FREE DRAINING GRAVEL, OR CRUSHED ROCK ALL AS APPROVED BY THE GEOTECHNICAL ENGINEER.

POROUS FILL UNDER SIDEWALKS, ETC., SHALL BE GRADED BETWEEN 3/8" AND NO. 200

POROUS FILL SHALL BE CAPABLE OF BEING COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM-1557.

STEEL REINFORCING BARS SHALL CONFORM TO "SPECIFICATIONS FOR DEFORMED BILLET STEEL BARS FOR CONCRETE REINFORCEMENT", ASTM A-615 GRADE NO. 60, HAVING A MINIMUM YIELD STRENGTH OF 60,000 PSI.

TIE WIRE SHALL BE BLACK ANNEALED WIRE, 16 GAUGE MINIMUM. BAR SUPPORTS SHALL CONFORM TO THE "BAR SUPPORT SPECIFICATIONS" CONTAINED IN "MANUAL OF STANDARD PRACTICE" AS PUBLISHED BY CRSI AND WCRSI. BAR SUPPORTS AND ACCESSORIES WITHIN 1/2" OF SURFACE OF CONCRETE EXPOSED TO WEATHER SHALL BE NON—CORROSIVE.

CEMENT SHALL BE GRAY PORTLAND CEMENT, TYPE I OR II, CONFORMING TO ASTM C—150 OR ASTM C—175 FOR AIR—ENTRAINING PORTLAND CEMENT.

FINE AND COARSE AGGREGATES SHALL BE REGARDED AS SEPARATE INGREDIENTS AND EACH SHALL CONFORM TO THE APPROPRIATE GRADING REQUIREMENTS OF ASTM C-33.

AIR-ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C-260. EXPANSION JOINTS SHALL BE 1/2" THICK CANE FIBER EXPANSION JOINTS, CONFORMING TO ASTM D-1751.

EXPANSION JOINT SEALANT SHALL BE TRAFFIC GRADE, SELF LEVELING TREMCO THC-900" OR PERCORA CORPORATION "NF-200". COLOR SHALL BE BLACK. SHALL BE AS RECOMMENDED BY SEALANT MANUFACTURER.

CURING COMPOUND SHALL BE CLEAR, CONFORMING TO ASTM C-309. CURING COMPOUND SHALL BE COMPATIBLE WITH PAINTS, ETC., SCHEDULED OR SPECIFIED FOR APPLICATION TO CONCRETE SURFACE.

ALL CONCRETE, UNLESS OTHERWISE NOTED, SHALL HAVE A MINIMUM COMPRESSIVE

ALL CONCRETE, UNLESS OTHERWISE NOTED, SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. MIX DESIGN SHALL BE SO PROPORTIONED TO PROVIDE A MINIMUM OF 517 POUNDS OF CEMENT PER CUBIC YARD.

ALL CONCRETE SHALL BE PROPORTIONED TO HAVE A SLUMP OF 4" MAXIMUM. TOLERANCE IN SLUMP SHALL NOT EXCEED ACI RECOMMENDATIONS.

READY—MIXED CONCRETE SHALL CONFORM TO ASTM C—94 AND THE NATIONAL READY MIX CONCRETE ASSOCIATION.

POROUS FILL SHALL BE LAID AND COMPACTED TO A MINIMUM DEPTH OF 3", UNLESS OTHERWISE INDICATED, UNDER ALL SIDEWALKS, ETC..

POROUS FILL SHALL BE COMPACTED TO NOT LESS THAN 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D=1557

DETERMINED BY ASTM D-1557.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUPPLY ALL MATERIALS NECESSARY TO COMPLETE PAVING.

SITE IMPROVEMENTS

GUARD RAIL AND POSTS AND SIGN POSTS:

ALL OFF—SITE WORK INCLUDED CONSISTS OF BUT IS NOT LIMITED TO THE FOLLOWING:

SITE RELATED FENCING.
GUARD POSTS, GUARD RAIL AND POSTS AND SIGN POSTS LOCATED ON THE SITE.
TRAFFIC CONTROL SIGNS. GUARD POSTS,

STEEL SHAPES SHALL CONFORM TO ASTM A-36. STEEL PIPE SHALL CONFORM TO ASTM A-53, E OR S, TYPE B. STEEL PIPE SHALL CONFORM TO ASTM A-501.

SHOP COAT SHALL BE RUST INHIBITING RED OXIDE, RED LEAD OR LEAD CHROMATE OR EQUAL. IT IS THE INTENT TO PERMIT THE USE OF THE FABRICATORS STANDARD PRIME COATING.

ASPHALT BASED COATING IS NOT PERMITTED.

CONCRETE FOR SETTING FENCE AND GUARD RAIL POSTS AND SETTING AND FILLING OF SIGN AND GUARD POSTS SHALL BE PORTLAND CEMENT COMPLYING WITH ASTM C-150, AGGREGATES COMPLYING WITH ASTM C-33, AND CLEAN WATER. MIX MATERIALS TO OBTAIN CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI, USING AT LEAST 4 SACKS OF CEMENT PER CU. YD., 1" MAXIMUM SIZE AGGREGATES, MAXIMUM 3" SLUMP, AND 2% TO 4% ENTRAINED AIR. PREPARE TO CONFORM TO ASTM C-94

MISCELLANEOUS NOTES

THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.

THE ENGINEER HAS ATTEMPTED TO LOCATE EXISTING STRUCTURES AND EXISTING UTILITIES IN THE PROJECT AREA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATIONS OF THESE STRUCTURES OR UTILITIES AND TO DETERMINE IF OTHER STRUCTURES OR UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION AND RELOCATION OF UTILITIES IN CONFLICT WITH NEW CONSTRUCTION BY APPROPRIATE UTILITY COMPANY.

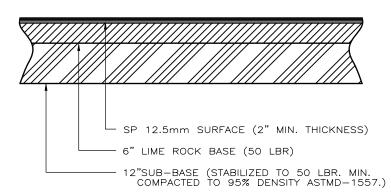
THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK IN ACCORDANCE WITH STATE STANDARDS AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.

CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING SURROUNDINGS (I.E., ASPHALT, SIDEWALKS, CURBS, ETC.) THAT ARE DAMAGED DURING CONSTRUCTION. REPLACEMENT SHALL MATCH EXISTING.

ALL SITE WORK MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

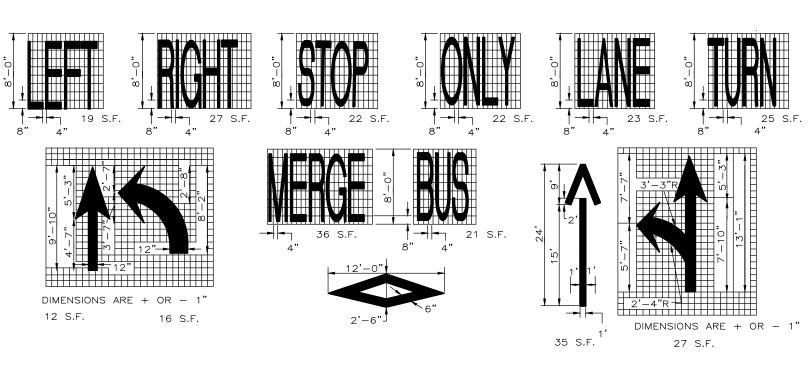
CONTRACTOR SHALL HAVE ALL PERMITS PRIOR TO CONSTRUCTION IN WETLANDS, COUNTY

CONSTRUCTION PLANS ARE BASED ON FIELD SURVEY AND OTHER DATA AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL LOCATIONS OF NEW AND EXISTING CONNECTIONS NECESSARY TO COMPLETE THE INTENT OF THE PLANS. IN THE EVENT THERE IS A CONFLICT DUE TO UNFORESEEN OBSTRUCTIONS OR SHORT FALLS TO CONNECTIONS (WHICH DOES NOT MEET THE INTENT OF THE CONSTRUCTION PLANS). THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION. THE CONTRACTOR SHALL RELOCATE OR REMOVE OBSTRUCES AS DIRECTED BY OWNER.

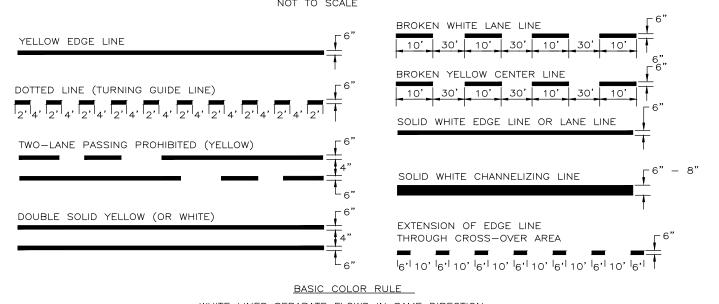


WITHIN 4' OF SUBGRADE BOTTOM ALL SILTY AND PEATY SOILS OR ANY OTHER ORGANIC SOILS SHALL BE REMOVED. FILL SOILS SHALL BE SANDS TO SLIGHTLY SILTY SANDS CONTAINING NO MORE THAN 15% BY DRY WEIGHT, FINER THAN THE U.S. No. 200 MESH SIEVE AND COMPACTED TO A DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY THROUGHOUT ITS FULL DEPTH.

ASPHALTIC PAVEMENT DETAIL NOT TO SCALE

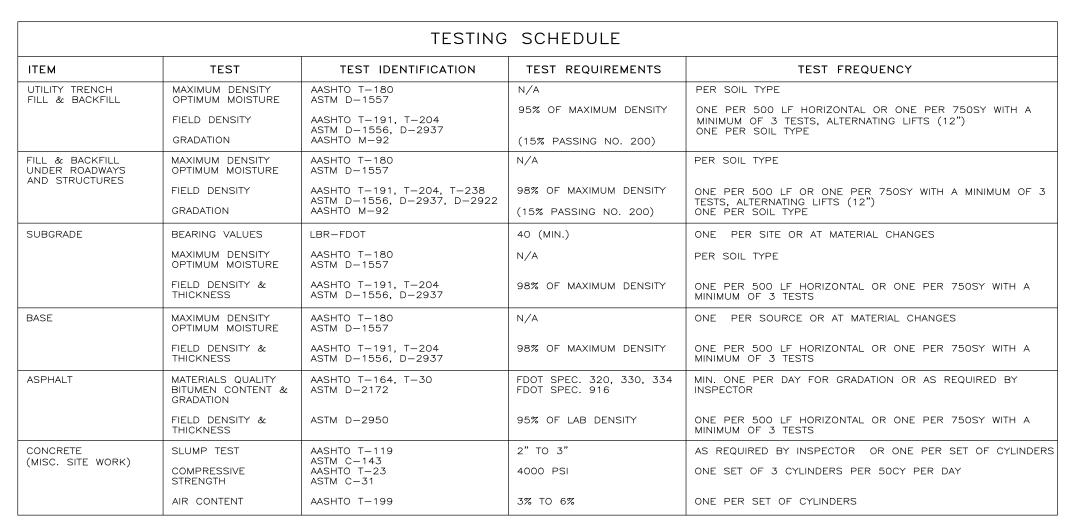


PAVEMENT ARROWS AND MESSAGE DETAILS

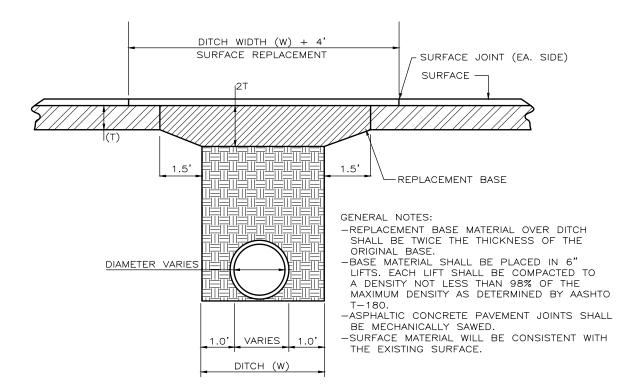


WHITE LINES SEPARATE FLOWS IN SAME DIRECTION YELLOW LINES SEPARATE FLOWS IN OTHER OPPOSITE DIRECTION YELLOW DOTTED LINES MAY BE USED IN SPECIAL CASES

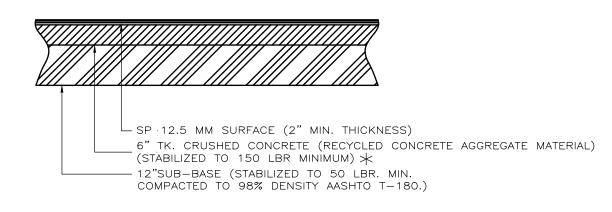
TYPES OF PERMANENT LONGITUDINAL LINES



NOTE: 1. CONCRETE FOR SITE WORK INCLUDES BUT IS NOT LIMITED TO CURB, CURB & GUTTER, SIDEWALKS, CONCRETE PAVING, ETC.
2. THIS TEST SCHEDULE APPLIES TO SITE WORK ONLY. SEE ARCHITECT'S SPECIFICATIONS FOR FOUNDATION/BUILDING TESTING.



REPLACEMENT OF FLEXIBLE PAVEMENT SECTION



★ THE RECYCLED AGGREGATE MATERIAL SHALL BE CLEAN WITH REMOVAL OF ALL DELETERIOUS MATERIALS (METALS, SOLIDS, FINES, ETC.) MATERIALS SHALL MEET THE GRADATION AND SIZE REQUIREMENTS. (SEE FDOT SPECIFICATION TABLE 911-4)

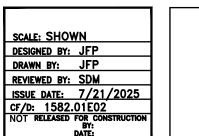
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PAVEMENT DETAIL

NOT TO SCALE

PERMIT PURPOSES ONLY

CONSTRUCTION DETAILS GRAND OAKS SUBDIVISION 7TH & SENECA CALLAWAY FLORIDA



MCNEIL

—CARROLL

ENGINEERING, INC.

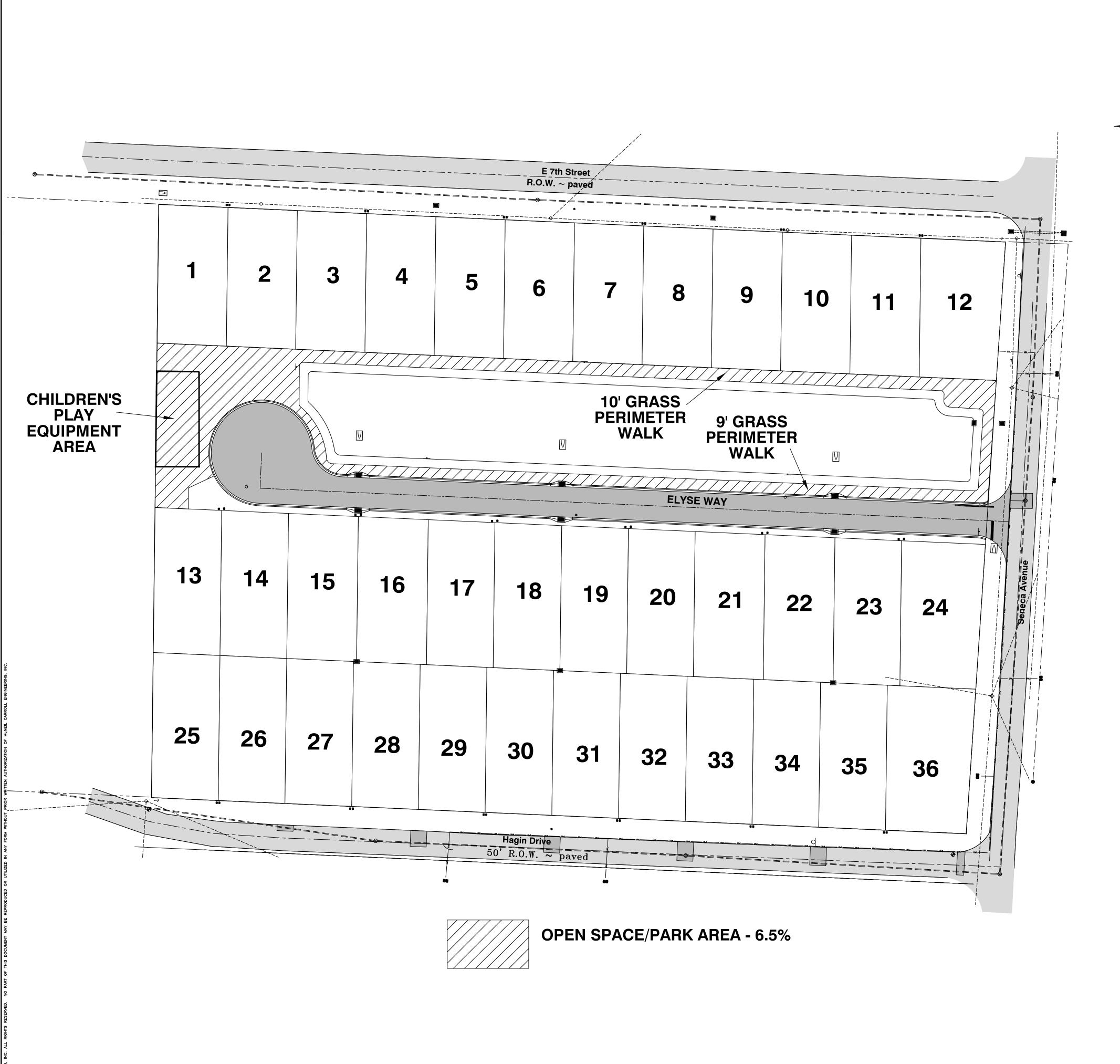
Professional Engine

475 Harrison Avenue, Suite 200 Panama City, Florida 32401 Phone: 850-763-5730

ERING, INC.

Professional Engineering Consultants

STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288





PERMIT PURPOSES ONLY

OPEN SPACE PARK/PARK AREA EXHIBIT
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA

SCALE: SHOWN
DESIGNED BY: JFP
DRAWN BY: JFP
REVIEWED BY: SDM
ISSUE DATE: 7/15/2025
CF/D: 1582.01E01 rev
NOT RELEASED FOR CONSTRUCTION
DATE:

MCNEIL

—CARROLL

ENGINEERING, INC.

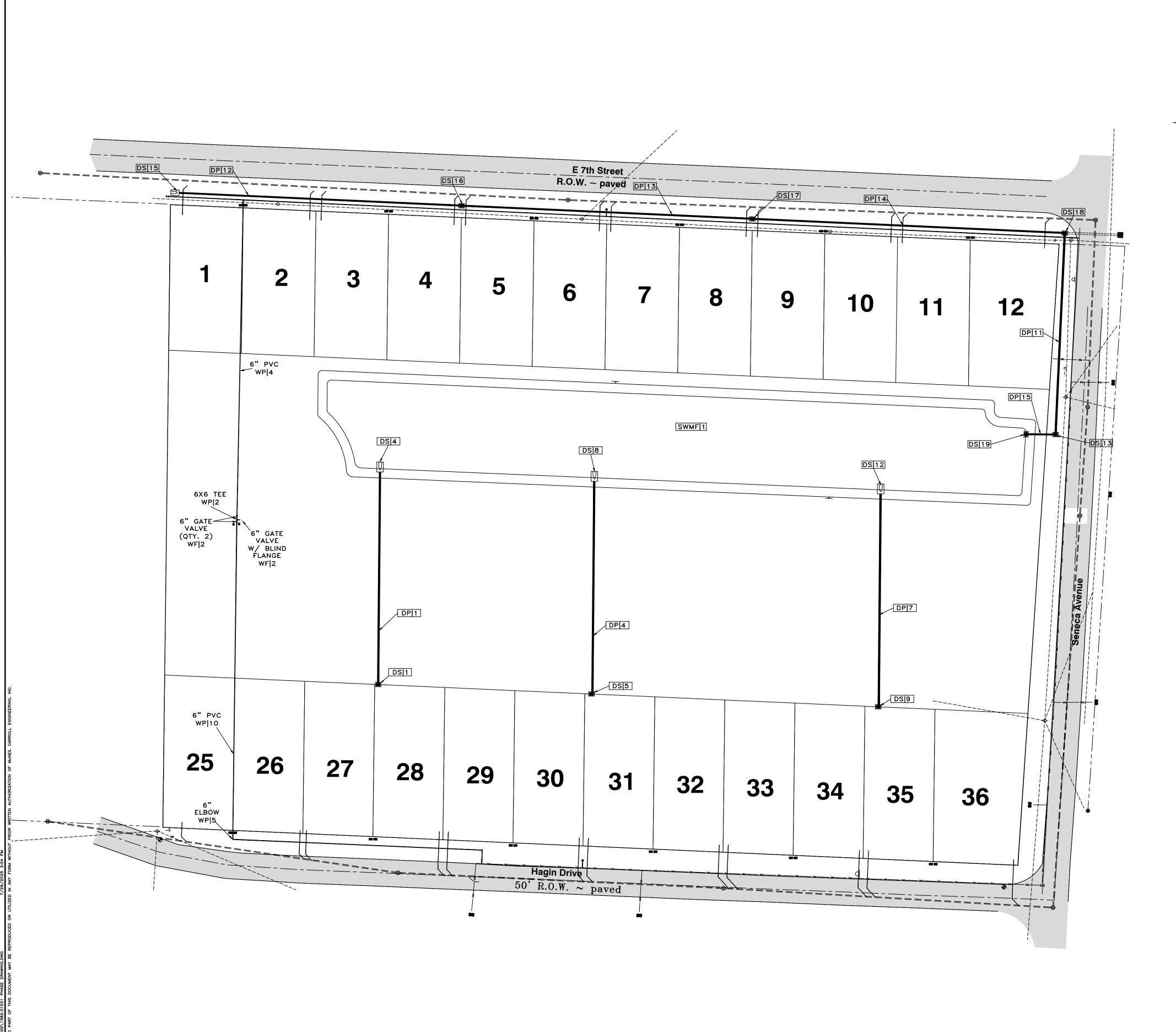
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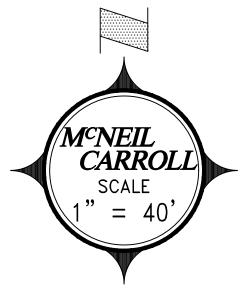
Professional Engineering Consultants

STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

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PHASE 1 DRAINAGE SCHEDULE

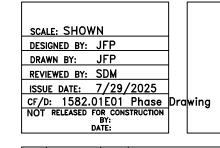
DRAINAGE PIPE SCHEDULE										
NO.	SIZE	LF	TYPE	SLOPE						
DP1	18"	160	ADS	0.20%						
DP4	18"	160	ADS	0.20%						
DP7	18"	160	ADS	0.20%						
DP11	18"	150	ADS	0.20%						
DP12	15"	213	ADS	0.20%						
DP13	15"	217	ADS	0.20%						
DP14	15"	234	ADS	0.20%						
DP15	15"	20	ADS	0.00%						
ALL PE	ERFORA OS PIPE	TED PIPE	BE AS SHOWN (SHALL HAVE A BE RATED N-12 TAILS.	GRAVEL PA						

DRAINAGE STRUCTURE SCHEDULE										
NO.	TYPE STRUCTURE	TOP OF GRATE	PIPE INVERT	BOTTOM INVERT						
DS1	FDOT TYPE C INLET	EL. 31.50	EL. 29.00 N,	EL. 28.00						
DS4	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A						
DS5	FDOT TYPE C INLET	EL. 31.50	EL. 29.00 N,	EL. 28.00						
DS8	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A						
DS9	FDOT TYPE C INLET	EL. 31.50	EL. 29.00 N,	EL. 28.00						
DS12	18" CONCRETE MITERED END	EL. N/A	EL. 28.65	EL. N/A						
DS13	FDOT TYPE C INLET	EL. 31.50	EL. 29.75 N, W. S.	EL. 28.75						
DS16	FDOT TYPE C INLET	EL. 32.50	EL. 30.70 E. W.	EL. 29.70						
DS17	FDOT TYPE C INLET	EL. 32.50	EL. 30.25 E. W.	EL. 29.25						
DS18	FDOT TYPE C INLET	EL. 31.50	EL. 29.75 W. S. & EL. 29.73 E. EXISTING 18" RCP	EL. 28.70						
DS19	FDOT TYPE C INLET	EL. 31.00	EL. 29.75 E. & EL. 30.5 (9 PIPES) W. & EL. 29.75 W.	EL. 28.70						

SEE CONSTRUCTION DETAILS.
2' SUMP UNLESS OTHERWISE NOTED.

PERMIT PURPOSES ONLY

PHASE I EXHIBIT
GRAND OAKS SUBDIVISION
7TH & SENECA
CALLAWAY, FLORIDA



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—CARROLL

ENGINEERING, INC.

475 Harrison Avenue, Suite 200 Panama City, Florida 32401 850-763-5730

ENGINEERING, INC.

Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

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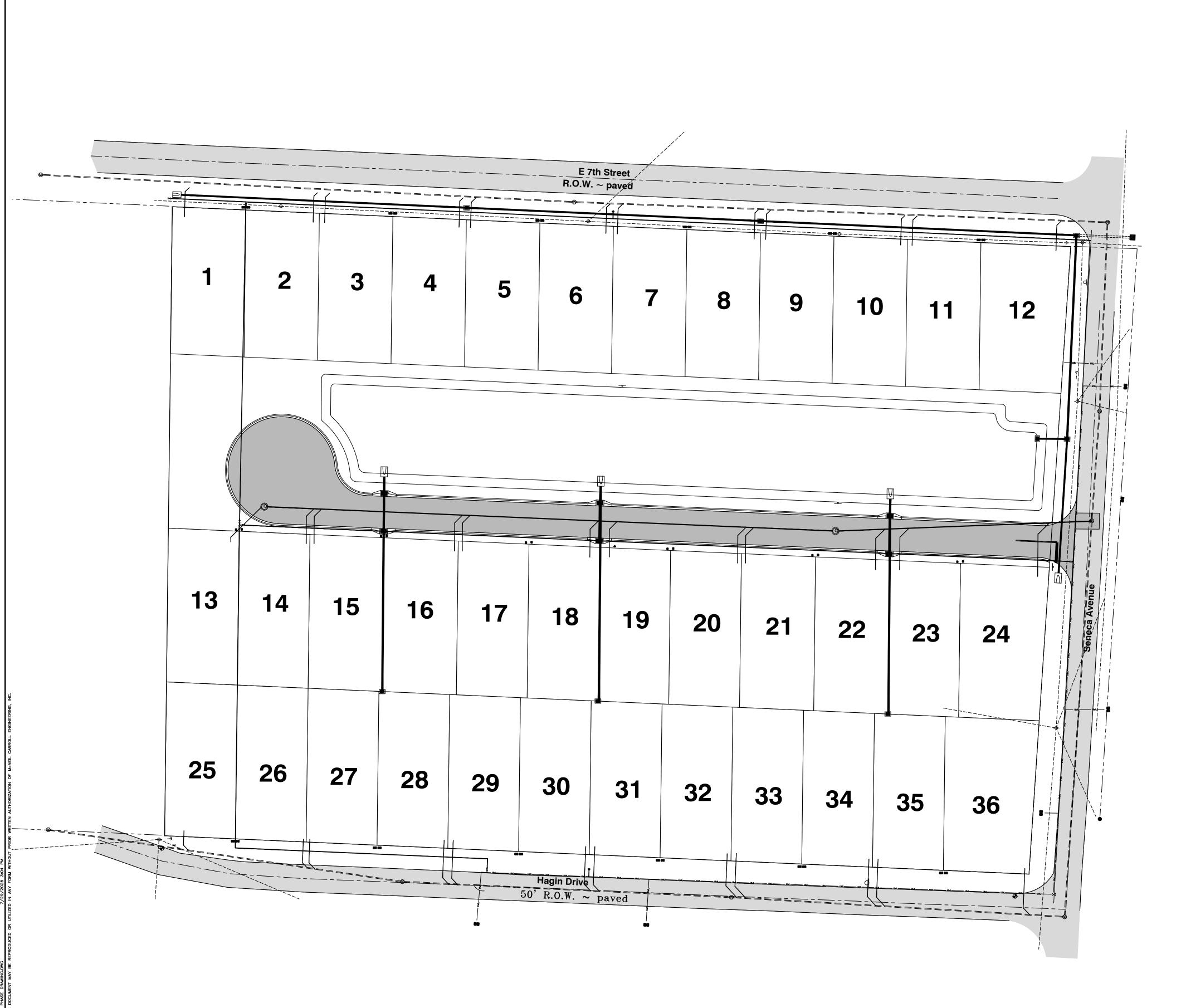
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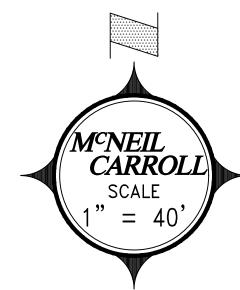
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 Robert L. Carroll, P.E.

 PROFESSIONAL ENGINEER
 PROFESSIONAL ENGINEER

 FL LC # 49303
 FL LC # 57988

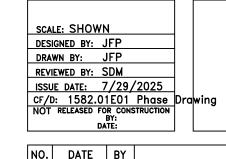
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OF 07/29/25





PERMIT PURPOSES ONLY

PHASE 2 EXHIBIT GRAND OAKS SUBDIVISION 7TH & SENECA CALLAWAY, FLORIDA



A75 Harrison Avenue, Suite 20 Panama City, Florida 32401 — CARROLL ENGINEERING, INC. Professional Engineering Consultants STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288

475 Harrison Avenue, Suite 200 Panama City, Florida 32401

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CITY OF CALLAWAY PLANNING DEPARTMENT STAFF SUMMARY

SMALL SCALE COMPREHENSIVE PLAN AMENDMENT – REQUEST TO CHANGE THE FUTURE LAND USE MAP FOR THE PROPERTY AT 1023 PRIMROSE STREET

Date:

August 5, 2025

Applicant:

Rodrick Trail, Krystals Kreations, LLC

Property owner:

Rodrick Trail, Krystals Kreations, LLC

Location:

1023 Primrose Street, Parcel ID# 07384-277-000

Current Future

Land Use:

Undesignated

Proposed Future

Land Use:

Commercial

Adjacent Future

Land Uses:

North - Low Density Residential

South – Undesignated East – Undesignated West – Undesignated

Background:

Rodrick Trail of Krystals Kreations, LLC has submitted to the City of Callaway an Application for a Small Scale Comprehensive Plan Amendment to change the Callaway Future Land Use Map. The property currently has a Future Land Use Designation of undesignated. The applicant is requesting that the City of Callaway amend the Future Land Use Map to provide the property with a Commercial.

Staff Findings:

The subject property is approximately 2.718 acres. (see attached map).

The Planning Department has reviewed the proposed Small Scale Plan Amendment for consistency with the Callaway Comprehensive Plan and has performed a capacity analysis of future facilities and services. The proposed plan amendment was found to be consistent with the pertinent elements of the Comprehensive Plan.

Staff Recommendation:

Staff recommends that the Planning Board transmit a recommendation of approval to the City Commission to amend the Callaway Future Land Use Map to designate the property to Commercial.

Bill Frye

Director of Public Works & Planning

Enclosures:

Application for Small Scale Comprehensive Plan Amendment

Vicinity Map

Future Land Use Map of area



Planning Department 324 S Berthe Avenue, Callaway, FL 32404 Phone (850) 871-1033



www.callaway.com

SMALL SCALE COMPREHENSIVE PLAN AMENDMENT APPLICATION

Application fee: \$1,100 (Plus, hourly attorney and engineering fees reimbursed as billed)

NOTE: The subject property must be under 50 acres in size to qualify as a Small-Scale Plan Amendment.

A. APPLICANT INFORMATION

(Photo Attached)

B.

1.	Owner's name: Re	South Trail, Kryst	als Kractions, LLC	
2.	Mailing address: 11	711 Poston Rd	Panama city, FL 324	64
3.	Phone: 418 320 -	2083 Fax:	Email: Lurbo Se	Ostary @ Jaho
4.	Authorized agent nam	ie:_Self		
5.	Mailing address:	SAME AS Above		
6.	Phone:	Fax:	Email:	
stat	e applicant does not owr ement of consent from the ther instrument documer	ne owner) Attach a legal descrip	ss, and telephone number of owner. (ion including a survey if available. At	Must attach a notarized tach a copy of the deed
	Requested amend	ment: Establish a baselin	e zoning designation for the cu	urrent
			. The original East Bay site de	
			a to be designated as a boat st boat storage area to support th	그 사람들이 아이들을 살아내는 그를 모르는데 다른데 다른데 다른데 다른데 다른데 다른데 다른데 다른데 다른데 다른
	narnal information			

C. PROPERTY INFORMATION

			Section 1	
	1.	Ad	dress of site	for which amendment is requested: Primrose ST Panama City
	2.	Ta		384 - 277-000
	3.		reage of pro	
	4.	Ex	isting Tax Cl	assification:
	5.	Pro	oposed Tax (Classification:
D.			NFORMATIC	
	Th	e fol	lowing inform	nation must be provided along with this application:
		1.	The most re information required sit	ecent aerial photograph available from the Property Appraiser's Office. The required by 2. (a) Through (g) may be shown on the aerial photo in lieu of the e plan.
		2.	A site plan which desc	or drawing, drawn to a scale deemed acceptable by the Planning Director, ribes or shows the following:
			a)	Location in relation to surrounding physical features such as streets, railroads, water bodies, etc. Names of all adjacent streets and other physical features must be shown.
			b)	North direction arrow.
			c)	Township, Range and Section
			d)	Existing designated use of the site and all adjacent properties, as shown on the Land Use Map.
			e)	Dimensions of the site (length, width, etc.) in linearfeet.
			f)	Size of the site in square feet or acres.
			g)	The type of development proposed for the site; the general location of such development of the site, and the size (square feet) of the proposed development.

has	ification: Rejuvenate the original East Bay Site Development Plan that included a lage area and establish the proper zoning classification accordingly. All future plar included future boat storage area and there's an immediate need for this service in Easy community.
Applica	TY CAPACITY ANALYSIS ant must provide information as to how the site will have access to potable water, sewage al, roads, and storm water control.
1.	Transportation – Comprehensive Plan Amendment Traffic Impact Analysis Guidelines are attached to this application (Please include a transportation impact analysis with application)
2.	Potable Water Source - Private water wells:
	Private community system provider: Public water system provider:
3.	Sewage Disposal Source - Private septic tanks:
	Private sewage system provider:
	Public sewage system provider:

4.

Storm water control: Total parcel size is approximately 117,885 Sq ft. that consists of vegetation and trees. The proposed site will have a maximum impervious surface area o 4,500 square feet. Open Boat Storage will not impact current storm water drainage or treatment requirements for this parcel. However, a 11,500 sq ft retention pond currently exists on the property for future use if required.

G. CERTIFICATION AND AUTHORIZATION

By my signature hereto, I do hereby certify that the information contained in this application is true and correct and understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application.

I do hereby authorize the City of Callaway staff to enter upon my property at any reasonable time for purposes of site inspection.

		e (please prir			cant's signature		
Compani STATE O	y name F FLORI	IDA	eations,	LLC		_	
					day of known to me		

City of Callaway Director of Public Works and Planning 324 S. Berthe Avenue Callaway, FL 32404 Attn: Mr. Bill Frye

From: Rodrick Trail, 11711 Poston Rd, PC, FL 32404

RE: Intended use and purpose of Rezoning Parcel # 07384-277-000 (1023 Primrose St.)

Our family is currently downsizing from our current home and relocating to 11711 Poston Rd in the East Bay community. During this period, I also purchased Parcel # 07384-277-000 in conjunction with our home located directly across the street. Since East Bay community has limited parking and yard areas, I needed extra space to support my Antique Hobby shop space requirements. In addition, this parcel has long-term plans to be a Boat Storage area to support storage requirements for Easy Bay residents.

Prior to purchasing this Boat Storage Parcel, I inquired with the Public Works and Planning Department and was informed that Rezoning would be required before commencement of any storage activities

The plan is to construct a metal building approximately 3600 sq ft (Approximately 4500 sq ft total impervious area) for my antique hobby shop and operate a secure boat storage area to support our Sunrise at East Bay community residents.

I am unsure on which Zoning designation to apply for and will need your offices guidance. Appears my plan could possibly fall within Section 15.550 Community Commercial paragraphs(b) (2) Antique Shop, (b) (4) Auto Accessory, or (B) (20) Hobby Shop and this is with focus on the Antique Auto Hobby structure. From the Boat Storage prospective, Section 15.555 Service Commercial paragraph (b) (19), "Other Uses, which in the opinion of the Director of Planning, are of a similar and compatible nature to those permitted uses described herein" may be a zoning option.

If you need additional information or have any questions, please give me a call. Thank you for your attention on this matter.

Rodrick Trail

478-320-2083, email: turbo50stang@yahoo.com

Atachnet for pain B

+/- 2.72 Acre RV/Boar Storage Site

MALCOR

+/- 6 Acre Waterfront Marina Site

Phase I +/- 18.14 Acres 139 Developed Lots Phase II +/- 60.14 Acres 180 Undeveloped Lots

EAST BAY

850 814 4490 601 405 9820 BRENT FAISON WENDY PARTIE

NOTICE OF PLANNING BOARD HEARING

The City of Callaway Planning Board will hold a public hearing on Tuesday, August 5, 2025, at 6:00 P.M., at the Callaway Arts and Conference Center, 500 Callaway Park Way, Callaway, Florida, to consider the following items:

1. General Information: Zoning & Future Land Use Designation

Property owner/applicant's name: Rodrick Trail, Krystals Kreations, LLC

Property location: 1023 Primrose Street

Parcel ID: # 07384-277-000

Property Size: Approx. 2.718 Total Acres

All interested persons are invited to attend and to present information or be heard for the Board's consideration. Further information may be obtained from the Planning Department by calling 871-1033. The public is invited to review the item at the City Clerk's office at the Callaway City Hall, 6601 East Highway 22, Callaway, Florida, between the hours of 8 a.m. and 5 p.m. Monday through Friday prior to the meeting. Anyone not appearing in person may submit written comments to the Planning Department at the above address.

If a person decides to appeal any decision made by the Planning Board with respect to any matter considered at the meeting, if an appeal is available, such person will need a record of the proceeding, and such person may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Callaway City Clerk, at City Hall, 6601 East Highway 22, Callaway, Florida 32404 or by phone at (850) 215-6694 prior to the meeting. If you are hearing or speech impaired, and you possess TDD equipment, you may contact the City Clerk using the Florida Dual Party Relay system, which can be reached at (800) 955-8770 (Voice) or (800) 955-8771 (TDD).

ALL INTERESTED PERSONS desiring to be heard on the aforementioned applications are invited to be present at the meeting.

Zoning & Future Land Use Designation



l Parcels

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, @ OpenStreetMap contributors, and the GIS User Community

0.05

0.2 km

0.04

0.14 mi

CITY OF CALLAWAY PLANNING DEPARTMENT STAFF SUMMARY

REZONING APPLICATION – 1023 PRIMROSE STREET

Date:

August 5, 2025

Applicant:

Rodrick Trail, Krystals Kreations, LLC

Location of Subject Property:

1023 Primrose Street, Parcel ID# 07384-277-000

Background:

Rodrick Trail of Krystals Kreations, LLC has submitted to the City of Callaway a Rezoning Application for property located at 1023 Primrose Street. The property is approximately 2.718 acres.

Proposed Property Zoning Change:

From it's current zoning of: Undesignated

To: Community Commercial

Findings:

Planning staff has analyzed the proposed rezoning and finds that all of the information given is true and accurate to the best of its knowledge.

Staff Recommendation:

Staff recommends that the Planning Board approve the Rezoning Application and convey a recommendation of approval to the City Commission.

Bill Frye

Director of Public Works & Planning

Enclosures:

Rezoning Application

Deed

Vicinity Map



Public Works Department 324 S Berthe Avenue, Callaway, FL 32404 Phone (850) 871-1033 www.cityofcallaway.com

APPLICATION FOR REZONING

1. Applicant(s) name: Rodrick Tvail	artin.
Applicant(s) address: 11711 Poston Rd Panama City, FL 3	240
Applicant(s) address: 11711 Poston Rd Panama City, FL 3 Applicant(s) phone: 478-320-2083 Email: turbo 505 tang & yahoo.	COM
Date of application: Jul 22, 2025	
. Rezone from: Undes Knackel to:	
. Parcel ID#: 07384 - 277-000	
. Legal Description of site to be rezoned: East Bay Phase 1 A 163 C Boat Stora	290
	J
Driving directions to site: Huy 22 to 2297; 2297 to Poston Rd;	1
Poston Rd to Primrose St ON left	
Name and address of property owner(s) according to most recent ad valorem tax records: (Year 2024) Kod rick Trail, Krystals Kradions; CCC	
old 542 Mills Ln - New 1/7/1 Poston Rd Panama C	ity i
If applicant does not own the property, give name(s), address(s) and telephone number(s) of the owner(s). (Must attach statement of consent form):	1

	ty address to be rezoned: 1023 Pryprose St Panama City, Fil 32404						
(Addre	ss must be obtained from County prior to Planning Board Meeting)						
9. Presen	sent Property Tax Classification:						
10. Propos	ed Property Tax Classification:						
	e of rezoning: Establish baselin's zoning for previously used Boat Storage area						
	ened since the early 2000's.						
nature of app	licant(s): Rel 12 Date: Jul 22,202						
	Date:						
To be subm Incomplete	itted with application: e submittals will not be reviewed						
To be subm Incomplete a)	itted with application: e submittals will not be reviewed 3 copies of the deed to the property.						
To be subm Incomplete a) b)	itted with application: a submittals will not be reviewed 3 copies of the deed to the property. 3 copies of a survey of the property.						
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To be subm Incomplete a) b)	itted with application: a submittals will not be reviewed 3 copies of the deed to the property. 3 copies of a survey of the property. A copy of the most recent Ad Valorem tax statement. A check for \$300. If the Zoning Application is submitted with a Petition for Annexation, the						
To be subm Incomplete a) b) c) d)	itted with application: a submittals will not be reviewed 3 copies of the deed to the property. 3 copies of a survey of the property. A copy of the most recent Ad Valorem tax statement. A check for \$300. If the Zoning Application is submitted with a Petition for Annexation, the fee is \$500 for both.						
To be submincompleted a) b) c) d)	itted with application: a submittals will not be reviewed 3 copies of the deed to the property. 3 copies of a survey of the property. A copy of the most recent Ad Valorem tax statement. A check for \$300. If the Zoning Application is submitted with a Petition for Annexation, the fee is \$500 for both. (Do Not Write Below This Line)						
To be submincompleted a) b) c) d)	itted with application: a submittals will not be reviewed 3 copies of the deed to the property. 3 copies of a survey of the property. A copy of the most recent Ad Valorem tax statement. A check for \$300. If the Zoning Application is submitted with a Petition for Annexation, the fee is \$500 for both. (Do Not Write Below This Line) Board Action Date City Commission Action Date						

This instrument prepared by: Douglas Moore The Panhandle Group, Ilc Post Office 19 Panama City, FL 32402-0019 File # 24.09.243

WARRANTY DEED

THIS WARRANTY DEED, executed on this 4th of October, 2024, by and between:

Tranquility East Bay, LLC, a Missouri limited liability company, whose mailing address is 848 Dielman Road, St. Louis, MO 63132(the "Grantors"), and;

Krystals Kreations, LLC whose mailing address is 542 Mills Lane, Panama City, FL 32404 (the "Grantees").

The land described herein is not the homestead of the Grantors, and neither the Grantors nor the Grantors spouse, nor anyone for whose support the Grantors is responsible, resides on or adjacent to said land.

WITNESSETH, that said Grantors, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said Grantees and Grantees' successors and assigns forever, the following described real property (the "Property") lying and being in Bay County, Florida, to-wit:

Boat Storage, EASTBAY PHASE 1A, according to the Plat thereof as recorded in Plat Book 22, Page(s) 60-66, of the Public Records of Bay County, Florida.

PIN: 07384-277-000

Subject to: Taxes for the year 2024 and subsequent; and all covenants, restrictions and easements of record, if any and said Grantors do hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

MOS)

Initial

1N WITNESS WHEREOF, the Grantor has hereunto set their hands and seals on the day and year first above written.

Signed, sealed and delivered in our presence:	Tranquility East Bay, LLC A Missouri limited liability company
Witness #1: (Print) Witness Address: 9.50 & Olive	Michael J. Goellner, Trustee of the Michael J. Goellner Revocable Trust dated June 6, 2013, as sole member
Plud, St Cons MO 63	(2-12-
A. P. T. (Sign)	
Witness #2: OWMMER Patrick (Print)	
Witness Address: 9506 Olige	
Blud, St. Come MO 6:	3 32
STATE OF MISSOURI	
COUNTY OF	
The foregoing instrument was acknowledged be notarization, this day of October, 2024, Gollner Revocable Trust dated June 6, 2013, as no personally known to me or _ has produced	Dember of Transmilia, East Day, 116 141
Witness by hand and official seal.	V
Notary Public: My Commission Expires: 04 / 24 / 202	ALEXANDER E. COULTER Notary Public - Notary Seal STATE OF MISSOURI St. Louis County My Commission Expires: April 4, 2027 Commission # 23539719

M (12)
Inilial

Initial



2024 Paid Real Estate Notice of Ad Valorem Tax and Non-Ad Valorem Assessments for Bay County, FL

P.O. Box 2285, Panama City, FL 32402 Pay Online: www.baycountyfltax.gov

KRYSTALS KREATIONS LLC 542 MILLS LN PANAMA CITY, FL 32404 Parcel Account Number: 07384-277-000

Assessed Value: 3,261 Millage Code: 2 Bill Number: 237350 Exemptions: Legal Description: EAST BAY PHASE 1A 163C BOAT STORAGE (2.718 AC) ORB 3740 P 631

Site Address: 23 45 13W, PANAMA CITY.

2024 AD VALOREM TAXES						
Taxing Authority	Telephone	Assessed Value	Exempt Value	Taxable Value	Millage	Tax Levied
COUNTY	(850)248-8240	3,261	0	3,261	5.4362	17.73
SCHOOL RLE	(850)767-4138	3,261	0	3,261	3.0630	9.99
CHOOL DISC	(850)767-4138	3,261	0	3,261	2.2480	7.33
ALLAWAY	(850)871-6000	3,261	0	3,261	2.7500	8.97
IW FL WATER MGT	(850)539-5999	3,261	0	3,261	0.0218	0.07
O MOSQUITO	(850)248-8240	3,261	0	3,261	0.2000	0.65

Total Millage: 13.7190

Subtotal:

Subtotal:

Payments in U.S. funds from a U.S. Bank

\$44.74

Levying Authority	Telephone	Assessment Rate	Tax Levied

2024 NON-AD VALOREM TAXES

Pay Online and Print your Receipt at BayTaxCollector.com

Total of Ad Valorem & Non-ad Valorem Assessments

\$0.00

Payments received after March 31st are considered delinquent and cannot be paid using a personal check.

IF YOUR TAXES ARE NOT ESCROWED, PLEASE RETURN THE BOTTOM PORTION WITH YOUR PAYMENT.

CHUCK PERDUE, BAY COUNTY TAX COLLECTOR

Parcel Account Number: 07384-277-000

Site Address: 23 4S 13W,

PANAMA CITY,

Bill Number: 237350 KRYSTALS KREATIONS LLC

542 MILLS LN

PANAMA CITY, FL 32404

PLEASE SEE OTHER SIDE FOR IMPORTANT INFORMATION

PAY ONLY ONE AMOUNT

Nov 30, 2024
\$42.95

1+07384277000+2024

PAY ONLINE www.baycountyfltax.gov

NOTICE OF PLANNING BOARD HEARING

The City of Callaway Planning Board will hold a public hearing on Tuesday, August 5, 2025, at 6:00 P.M., at the Callaway Arts and Conference Center, 500 Callaway Park Way, Callaway, Florida, to consider the following items:

 General Information: Zoning & Future Land Use Designation Property owner/applicant's name: Rodrick Trail, Krystals Kreations, LLC

Property location: 1023 Primrose Street

Parcel ID: # 07384-277-000

Property Size: Approx. 2.718 Total Acres

All interested persons are invited to attend and to present information or be heard for the Board's consideration. Further information may be obtained from the Planning Department by calling 871-1033. The public is invited to review the item at the City Clerk's office at the Callaway City Hall, 6601 East Highway 22, Callaway, Florida, between the hours of 8 a.m. and 5 p.m. Monday through Friday prior to the meeting. Anyone not appearing in person may submit written comments to the Planning Department at the above address.

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Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Callaway City Clerk, at City Hall, 6601 East Highway 22, Callaway, Florida 32404 or by phone at (850) 215-6694 prior to the meeting. If you are hearing or speech impaired, and you possess TDD equipment, you may contact the City Clerk using the Florida Dual Party Relay system, which can be reached at (800) 955-8770 (Voice) or (800) 955-8771 (TDD).

ALL INTERESTED PERSONS desiring to be heard on the aforementioned applications are invited to be present at the meeting.

Zoning & Future Land Use Designation



Parcels

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

0.05

0.2 km

0.14 mi

0.04

CITY OF CALLAWAY PLANNING DEPARTMENT STAFF SUMMARY

SMALL SCALE COMPREHENSIVE PLAN AMENDMENT – REQUEST TO CHANGE THE FUTURE LAND USE MAP FOR THE PROPERTY AT ANITA DRIVE & DOUGLAS STREET

Date:

August 5, 2025

Applicant:

F & P Capital Properties, LLC

Property owner:

F & P Capital Properties, LLC

Location:

Northwest corner of Anita Drive & Douglas Street

Parcel ID# 06258-010-000

Current Future

Land Use:

High Density Residential

Proposed Future

Land Use:

Commercial

Adjacent Future

Land Uses:

North – Commercial South – Commercial

East - Low Density Residential

West - Commercial

Background:

On behalf of F & P Capital Properties, LLC, Robert Carrol, PE of McNeil Carrol Engineering has submitted to the City of Callaway an Application for a Small Scale Comprehensive Plan Amendment to change the Callaway Future Land Use Map. The property currently has a Future Land Use Designation of High Density Residential. The applicant is requesting that the City of Callaway amend the Future Land Use Map to provide the property with a Commercial designation.

Staff Findings:

The subject property is approximately 1.065 acres. (see attached map).

The Planning Department has reviewed the proposed Small Scale Plan Amendment for consistency with the Callaway Comprehensive Plan and has performed a capacity analysis of future facilities and services. The proposed plan amendment was found to be consistent with the pertinent elements of the Comprehensive Plan.

Staff Recommendation:

Staff recommends that the Planning Board transmit a recommendation of approval to the City Commission to amend the Callaway Future Land Use Map to designate the property to Commercial.

Bill Frye

Director of Public Works & Planning

Enclosures:

Application for Small Scale Comprehensive Plan Amendment

Vicinity Map

Future Land Use Map of area



Planning Department 324 S Berthe Avenue, Callaway, FL 32404 Phone (850) 871-1033 www.callaway.com

SMALL SCALE COMPREHENSIVE PLAN AMENDMENT APPLICATION

Application fee: \$1,100 (Plus, hourly attorney and engineering fees reimbursed as billed)

NOTE: The subject property must be under 50 acres in size to qualify as a Small-Scale Plan Amendment.

2	2. Mailing address: 110 Blu	ejack Street	
3	3. Phone: 770-317-1372	Fax:	Email:
4	Authorized agent name;	McNeil Carroll Engineering, I	nc.
5	i. Mailing address: 17800 p	PCB Parkway, PCB, FL 3241:	3
6	Phone: 850-234-1730	Fax:	Email:
lf	and the or deligetif field file o	when Allach a legal descrip	ss, and telephone number of owner. (Must attach a notariz tion including a survey if available. Attach a copy of the de
7.7	r other instrument documenting		
or	EQUESTED AMENDMENT	amily residential (MFHD) use to	commercial (COM-1)

C. PROPERTY INFORMATION

1.	Address of site for which amendment is requested: N. Anita Drive
2	Tay ID: 06258-010-000

- 3. Acreage of property: 1.07
- 4. Existing Tax Classification: Residential (MFHD)
- 5. Proposed Tax Classification: Commercial (COM-1)

D. SITE INFORMATION

The following information must be provided along with this application:

- 1. The most recent aerial photograph available from the Property Appraiser's Office. The information required by 2. (a) Through (g) may be shown on the aerial photo in lieu of the required site plan.
- 2. A site plan or drawing, drawn to a scale deemed acceptable by the Planning Director, which describes or shows the following:
 - Location in relation to surrounding physical features such as streets, a) railroads, water bodies, etc. Names of all adjacent streets and other physical features must be shown.
 - North direction arrow. b)
 - C) Township, Range and Section
 - Existing designated use of the site and all adjacent properties, as shown on d) the Land Use Map.
 - e) Dimensions of the site (length, width, etc.) in linearfeet.
 - f) Size of the site in square feet or acres.
 - The type of development proposed for the site; the general location of such g) development of the site, and the size (square feet) of the proposed development.

	ent to the subject property.
Applica	ITY CAPACITY ANALYSIS ant must provide information as to how the site will have access to potable water, sewage al, roads, and storm water control.
1.	Transportation – Comprehensive Plan Amendment Traffic Impact Analysis Guidelines are attached to this application (Please include a transportation impact analysis with application)
2.	Potable Water Source - Private water wells:
	Private community system provider:
	Public water system provider: City of Callaway
3.	Sewage Disposal Source - Private septic tanks;
i	Private sewage system provider:

4.	Describe how the storm wa	ater will be controlled	and treated:	
	On-site wet detention facility	and a desirable of	and treateu.	
	Attach additional pages if nec	essary.		
G. CERTI	FICATION AND AUTHORIZA	ATION		
By my and co	signature hereto, I do hereby rrect and understand that del ial or reversal of this applicati	certify that the information	ofion of allele left	the control of the co
l do he for purp	reby authorize the City of Cal poses of site inspection.	laway staff to enter u	pon my property a	at any reasonable time
l do her determi	reby authorize the placement ined by City staff.	of a public notice sig	n on my property	at locations to be
-	W. Fancher	11/1	17	/_
Applicar	nt's name (please print)	Applica	nt's signature	
-	oital Properties, LLC			
Compan	iy name			
STATE C	OF FLORIDA 'OF BAY			
1161111	to and subscribed before LEW FAMEHER , w 216730143000 as identif	me this المالية ho is personally kno fication and who did/	own to me or w	ho has produced
NOTARY PUBLIC PRINT NAME: 1 MY COMMISSION	how Brage	lo	Sur A Tile Note	EBONY BIGGS ary Public, State of Florida ommission# HH 330346 comm. expires Nov. 7, 2026



Parcel ID 06258-010-000 Class Code VACANT

COMMERCIAL

Taxing

District **PANAMA CITY**

Acres

1.065

Owner

F & P CAPITAL PROPERTIES

110 BLUEJACK ST SANTA ROSA BEACH, FL

32459

TYNDALL PKWY N

Physical Address

Just Value Value \$308038 Last 2 Sales

Date Price 9/21/2022 \$100

Reason **REMOVE CAP** Qual U

7/27/2022 \$725000 QUAL/PHY PROP CHGD AFTER Q SALE

MLS

(Note: Not to be used on legal documents)

Date created: 1/31/2023 Last Data Uploaded: 1/31/2023 1:10:24 PM

Developed by Schneider

This instrument prepared without the benefit of title work by and return to: Brandon C. Dodd, Esquire Smith, Gambrell & Russell, LLP 50 N. Laura Street, Suite 2600 Jacksonville, Florida 32202

The following information is provided pursuant to Section 689.02(2) F.S.:

Property Appraiser's Folio Number: 06258-010-000

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED (this "Deed") is made effective as of the 27th day of September, 2022, between F&P Capital Holdings LLC, a Florida limited liability company ("Grantor"), whose mailing address is 110 Bluejack Street, Santa Rosa Beach, FL 32459, and F&P Capital Properties, LLC, a Florida limited liability company ("Grantee"), whose mailing address is 110 Bluejack Street, Santa Rosa Beach, FL 32459.

WITNESSETH:

That Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other good and valuable considerations to Grantor in hand paid by Grantee, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and sold to Grantee, and Grantee's successors and assigns forever, all of Grantor's interest, in and to the following described property (the "Property") located in Bay County, Florida, to wit:

See Exhibit "A" attached hereto and made a part hereof.

SUBJECT TO taxes and assessments for the year 2022 and subsequent years, and any and all easements, covenants, dedications, limitations, restrictions, and reservations of record, but this reference to such matters is not intended to, and shall not be construed to, reimpose or extend such matters.

TOGETHER WITH, all and singular, the tenements, hereditaments, and appurtenances thereto belonging; and every right, title, or interest, legal or equitable, of Grantor, in and to the same.

TO HAVE AND TO HOLD the same unto Grantee, in fee simple forever.

Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee

THE CONVEYANCE IS A TRANSFER OF UNENCUMBERED REAL PARTY, IS WITHOUT CONSIDERATION, AND THERE HAS BEEN NO CHANGE IN BENEFICIAL OWNERSHIP OF THE CONVEYED REAL PROPERTY. ACCORDINGLY, NO DOCUMENTARY STAMP TAXES ARE DUE, EXCEPT MINIMUM DOCUMENTARY STAMP TAXES AFFIXED HERETO IN THE AMOUNT OF \$.70.

simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against no other; and that said land is free of all encumbrances except as noted herein.

Wherever used herein and wherever the context so admits or requires, the terms Grantor and Grantee shall include the singular and the plural; the heirs, legal representatives, and assigns of individuals, and the successors and assigns of limited liability companies and corporations.

[Signature Pages Follow]

IN WITNESS WHEREOF, Grantor has caused this Deed to be duly executed and delivered in his or her name on the aforesaid date.

WITNESSES:	"Grantor"
Witness #1: Zet A- Print Name: Derek Pierce Witness #2: Michille L. Holm Print Name: Michille L. Holm	F&P CAPITAL HOLDINGS LLC, a Florida limited liability company Juli W. Jauli Name: Julie Fancher Title: Member Name: Bryan Perry
F&P Capital Holdings LLC, who [] is pers	conally known to me or [] has produced
(Notarial Seal) (Notarial Seal)	Notary Public, State of Florida Print Name: Tony Rodrigue Z My commission expires: 02/23/2026 My commission number is: HH 231789
STATE OF FLORIDA COUNTY OF	
The foregoing instrument was acknowledge] online notarization this 21 day of Septer Capital Holdings LLC, who [] is personal Drivers License as identification.	d before me by means of M physical presence or mber, 2022, by Bryan Perry, as Member of F&P lly known to me or [] has produced
(Notarial Seal)	Notary Public, State of Florida Print Name: Juny Padriquez My commission expires: 02/23/2026

My commission number is: HH 232785

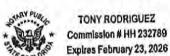


Exhibit "A" Legal Description of Property

A PORTION OF LOT 25 OF THE ST. ANDREWS BAY DEVELOPMENT COMPANY'S PLAT OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 13 WEST, AS RECORDED IN PLAT BOOK 5, PAGE 41 OF THE PUBLIC RECORDS OF BAY COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF LOT 25 OF THE ST. ANDREWS BAY DEVELOPMENT COMPANY'S PLAT OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 13 WEST AND PROCEED SOUTH 88 DEGREES 22 MINUTES 36 SECONDS EAST, ALONG THE NORTH BOUNDARY LINE OF SAID LOT 25, FOR A DISTANCE OF 618.08 FEET; THENCE SOUTH 01 DEGREE 23 MINUTES 53 SECONDS WEST, FOR A DISTANCE OF 55.07 FEET TO THE POINT OF BEGINNING; THENCE PROCEED SOUTH 01 DEGREE 23 MINUTES 37 SECONDS WEST, FOR A DISTANCE OF 268.24 FEET; THENCE NORTH 88 DEGREES 48 MINUTES 59 SECONDS WEST, FOR A DISTANCE OF 170.26 FEET; THENCE NORTH 01 DEGREE 37 MINUTES 24 SECONDS EAST, FOR A DISTANCE OF 121.61 FEET; THENCE NORTH 88 DEGREES 22 MINUTES 36 SECONDS WEST, FOR A DISTANCE OF 5.00 FEET; THENCE NORTH 01 DEGREE 37 MINUTES 24 SECONDS EAST, FOR A DISTANCE OF 148.00 FEET; THENCE SOUTH 88 DEGREES 21 MINUTES 22 SECONDS EAST, FOR A DISTANCE OF 174.19 FEET TO THE POINT OF BEGINNING.

NOTICE OF PLANNING BOARD HEARING

The City of Callaway Planning Board will hold a public hearing on Tuesday, August 5, 2025, at 6:00 P.M., at the Callaway Arts and Conference Center, 500 Callaway Park Way, Callaway, Florida, to consider the following items:

1. General Information: Rezoning

Property owner: F&P Capital Properties, LLC

Applicant: Robert Carrol, PE

Property location: Anita Drive & Douglas Street

Parcel ID: # 06258-010-000

Property Size: Approx. 1.065 Total Acres

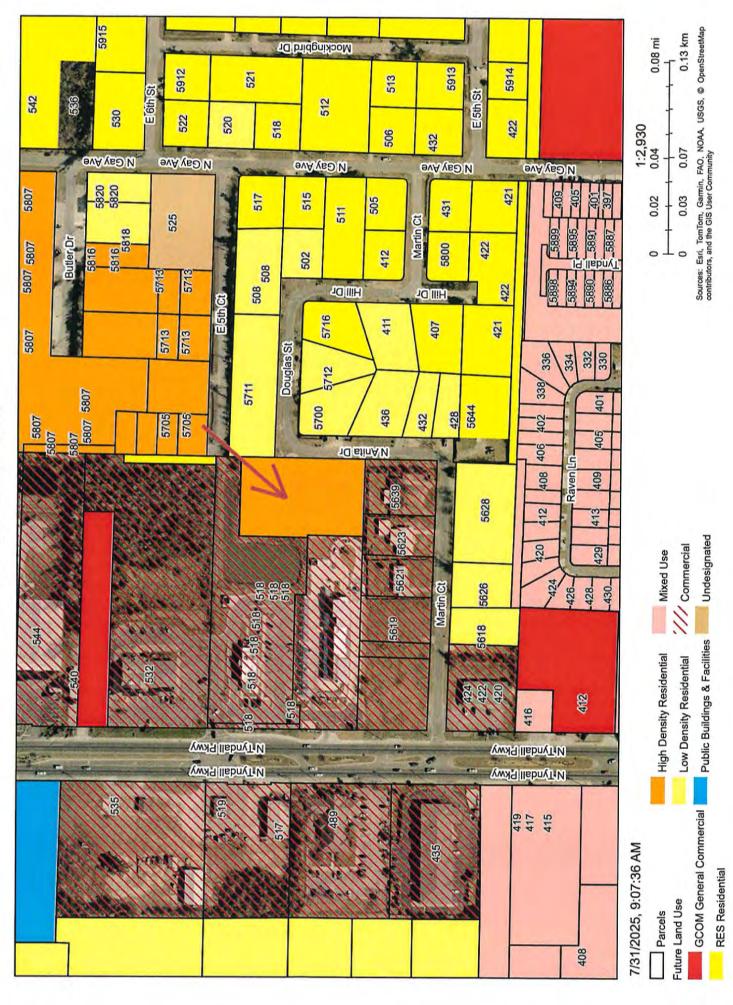
All interested persons are invited to attend and to present information or be heard for the Board's consideration. Further information may be obtained from the Planning Department by calling 871-1033. The public is invited to review the item at the City Clerk's office at the Callaway City Hall, 6601 East Highway 22, Callaway, Florida, between the hours of 8 a.m. and 5 p.m. Monday through Friday prior to the meeting. Anyone not appearing in person may submit written comments to the Planning Department at the above address.

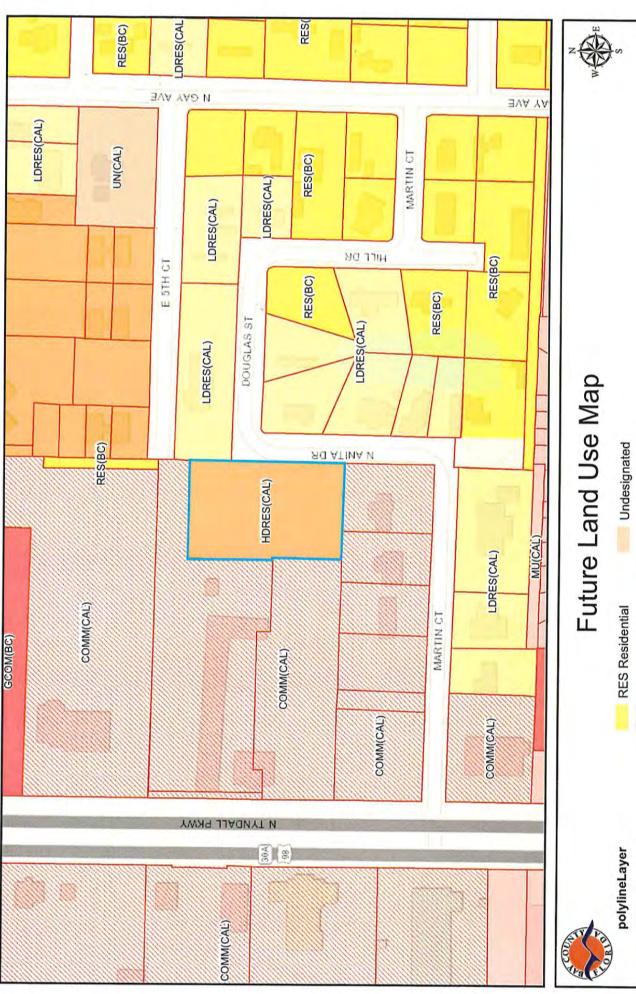
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ALL INTERESTED PERSONS desiring to be heard on the aforementioned applications are invited to be present at the meeting.

Future Land Use









- Override 1

futurelanduse Parcels

maps.baycountyfl.gov





Commercial GCOM General Commercial

Printed: 7/16/2025



7/25/2025, 12:05:18 PM

Parcels

0.08 km

0.05 mi

1:1,758 0.03

0.01

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

0.02

CITY OF CALLAWAY PLANNING DEPARTMENT STAFF SUMMARY

REZONING APPLICATION - ANITA DRIVE & DOUGLAS STREET

Date:

August 5, 2025

Applicant:

F & P Capital Properties, LLC

Location of Subject Property:

Northwest corner of Anita Drive & Douglas Street

Parcel ID# 06258-010-000

Background:

On behalf of F & P Capital Properties, LLC, Robert Carrol, PE of McNeil Carrol Engineering has submitted to the City of Callaway a Rezoning Application for property located at Northwest corner of Anita Drive & Douglas Street. The property is approximately 1.065 acres.

Proposed Property Zoning Change:

From it's current zoning of: Multi Family High Density

To: Service Commercial

Findings:

Planning staff has analyzed the proposed rezoning and finds that all of the information given is true and accurate to the best of its knowledge.

Staff Recommendation:

Staff recommends that the Planning Board approve the Rezoning Application and convey a recommendation of approval to the City Commission.

Bill Frye

Director of Public Works & Planning

Enclosures:

Rezoning Application

Deed

Vicinity Map

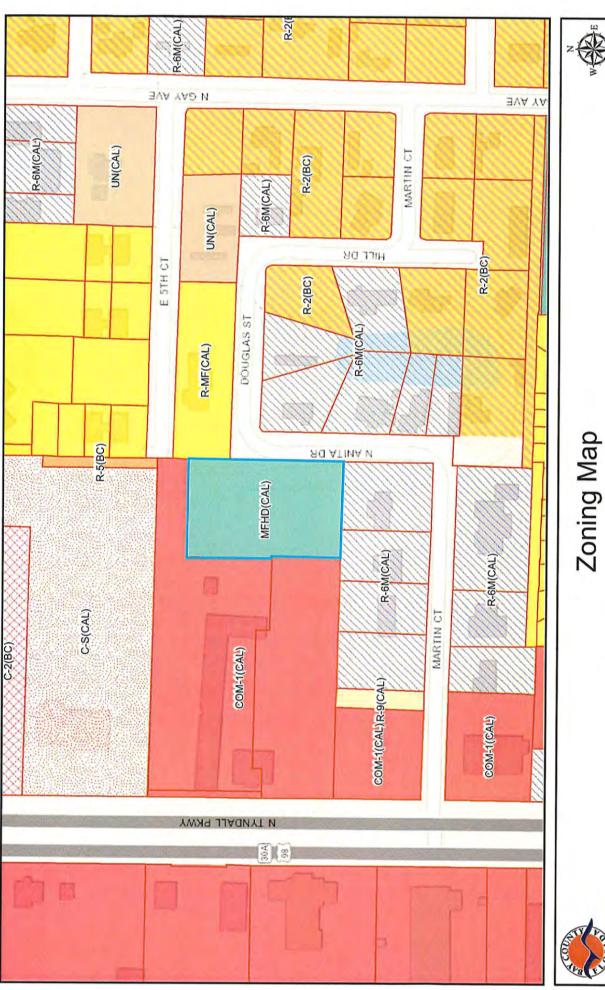


Public Works Department 324 S Berthe Avenue, Callaway, FL 32404 Phone (850) 871-1033 www.cityofcallaway.com

APPLICATION FOR REZONING

	Applicant(s) name: F&P Capital Properties, LLC				
	Applicant(s) address: 110 Bluejack Street, Santa Rosa Beach, FL 32459				
	Applicant(s) phone: 770-317-1372 Email:				
	Date of application: 7/25/2025				
	Rezone from: MFHD to: Service Commercial				
	Parcel ID #: 06258-010-000				
Legal Description of site to be rezoned: See attached survey					
	On High and the second of the				
	Driving directions to site: On Highway 98 drive 1,100 LF north of Highway 22 and turn onto				
	Driving directions to site: On Highway 98 drive 1,100 LF north of Highway 22 and turn onto Martin Court. Travel 900 LF and the subject parcel will be located on the west side of Anita Drive.				
	Driving directions to site: On Highway 98 drive 1,100 LF north of Highway 22 and turn onto				
	Driving directions to site: On Highway 98 drive 1,100 LF north of Highway 22 and turn onto Martin Court. Travel 900 LF and the subject parcel will be located on the west side of Anita Drive. Name and address of property owner(s) according to most recent ad valorem tax records:				

8.	Property address to be rezoned: N. Anita Drive								
	(Addre	ss must be obtained fro	om County prior t	to Planning Board	Meeting)				
9.		Property Tax Classification: Residential (MFHD)							
10	0. Proposed Property Tax Classification: Commercial								
11	1. Purpose of rezoning: The reason for requesting this amendment is to allow								
	for c	for commercial development.							
12		onal pertinent information	on:	Cap. Call M. Cap.	sly zoned commercial in 2022 existing commercial adjacent				
	to the	e subject propert	у.	M					
Signatu	ure of app	olicant(s):	* # EA		25 July 2025				
					Date:				
		itted with application: e submittals will not b	e reviewed						
	a)	3 copies of the deed	d to the property	y.					
	b)	3 copies of a survey of	of the property.						
	c)	A copy of the most re							
	d)	A check for \$300. If the fee is \$500 for both.	ne Zoning Applica	ation is submitted	with a Petition for Annexation, the				
		(C	Do Not Write Bel	low This Line)					
F	Planning	Board Action Date	City	Commission Ac	etion Date				
F	Restrictio	ns or Special Condition	ns:						
	Rezone:	From		То					
E	Received		Fee Paid		Reviewed by				











zoning

- Override 1 polylineLayer

Parcels

R-2 Duplex/Manufactured Housing

Residential R-6M

Commercial

Service Commercial

Undesignated

Printed: 7/16/2025

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1. General Information: Rezoning

Property owner: F&P Capital Properties, LLC

Applicant: Robert Carrol, PE

Property location: Anita Drive & Douglas Street

Parcel ID: # 06258-010-000

Property Size: Approx. 1.065 Total Acres

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7/25/2025, 12:05:18 PM

Parcels

0.08 km

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, @ OpenStreetMap contributors, and the GIS User Community

0.02

0.05 mi

1:1,758 0.03

0.01